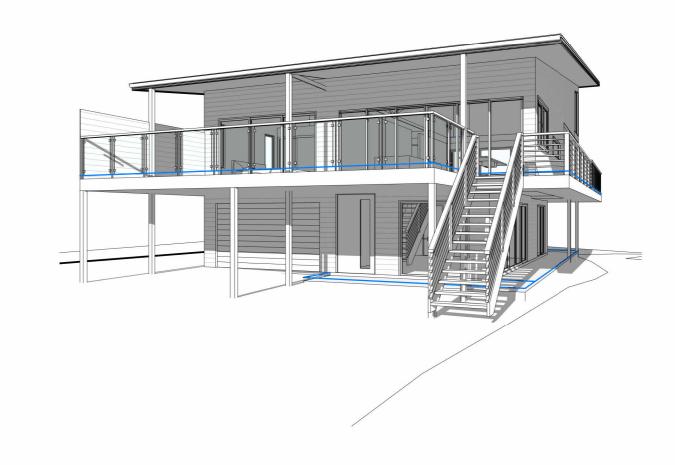
DEVELOPMENT APPLICATION AND CONSTRUCTION CERTIFICATE PROPOSED DWELLING, FOR:

R & K FINLAY-JONES

LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427



Sheet List		
Sheet Number	Sheet Name	
00	COVER SHEET	
00 01	SPECIFICATIONS	
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02	SITE PLAN	
03	GROUND FLOOR PLAN	
04	UPPER FLOOR PLAN	
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	Revision Schedu	le
Rev	Amendment	Date
		·
Α	Concept Plan	05/06/24
В	Council Issue	08/03/25



1. PRELIMINARIES

1.01 - SCOPE

THIS SPECIFICATION HAS BEEN PREPARED FOR USE WITH CLASS 1A AND 10 BUILDINGS AS DETERMINED BY PART A6 - BUILDING CLASSIFICATION, VOLUME TWO OF THE NATIONAL CONSTRUCTION CODE.

THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH

- THE APPROVED PLANS, INCLUDING BASIX COMMITMENTS AND SECTION 4.55.
- ANY CONDITIONS OF DEVELOPMENT CONSENT OR COMPLYING CERTIFICATE THE NATIONAL CONSTRUCTION CODE, VOLUME 2
- AUSTRALIAN HOUSING PROVISION STANDARD (ABCB

1.02 - STATUTORY REQUIREMENTS, APPROVALS, FEES AND INSPECTIONS

- ALL BUILDING AND ASSOCIATED WORK SHALL COMPLY WITH RELEVANT ACTS AND REGULATIONS OF PARLIAMENT AND STATUTORY REQUIREMENTS

1.03 -APPOINTMENT OF PRINCIPLE CERTIFYING AUTHORITY (PCA

IN ACCORDANCE WITH SECTION 4.69 SUBSECTIONS a,b,c, THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979. THE OWNER IS REQUIRED TO APPOINT THE PCA. THE OWNER IS RESPONSIBLE FOR PROVIDING THE BUILDER A LIST OF MANDATORY CRICTICAL STAGE INSPECTIONS AS REQUIRED BY CLAUSE 162A OF THE ENVIRONMENTAL

PLANNING AND ASSESSING REGULATIONS 2000.

- 1.04- MATERIALS
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE IDENTIFIED IN THE SCHEDULE.
- 1.05 WHS

THE BUILDER HAS STATUTRY RESPONSIBILITIES IN RELATIONS TO WHS ACT 2011 (NSW) AND WHS REGULATIONS 2017.

1.06 - SITE ACCESS

IN ACCORDANCE WITH WHS REGULATION, REGULATION 308, BEFORE WORK COMMENCES, THE BUILDER SHALL PROIDE A SIGNBOARD AT LEAST 600mm x 900mm, EITHER LANDSCAPE OR POTRAIT CONTAINING THE FOLLOWING

- THE BUILDERS NAME AND TELEPHONE
- THE LOCATIONS OF THE SITE OFFICE FOR THE PROJECT
- BUILDERS LICENSE NUMBER AND THE WORDS LICENSED CONSTRACTOR.
- 2. EXCAVATIONS, FOUNDATIONS AND FOOTINGS
- 2.01 PROTECTION OF SERVICES

CONTACT BEFORE YOU DIG AUSTRALIA TO IDENTIFY THE LOCATION OF UNDERGROUND ASSETTS.

2.02 SOIL EROSION AND SEDIMENT CONTROL

MEASURES SHALL BE UNDERTAKEN TO MANAGE THE EFFECTS OF STORMWATER RUN OFF TO AVOID EROSION, SEDIMENTATION, CONTAMINATION OF THE SITE, SURROUNDING AREAS AND DRAINAGE SYSTEM

PROTECT ANY TREES IDENTIFIED FOR RETENTION ON THE DRAWINGS OR AS CONDITIONED ON THE CONSENT. VISABLE TAPE TO BE USED TO IDENTIFY SUCH TREES.

2.04 - SITE PREPARATION

RUBBISH, TOP SOIL AND VEGETATION WITHIN 1m OF PROPOSED BUILDING SHALL BE CLEARED AND REMOVED.

2.05 - EXCAVATION

EXCAVATION WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE WHS ACT 2011 AND THE WHS REGULATION 2017, DIVISION 3 - EXCAVATION WORK, REGULATION 304. 305 AND 306. AND RELEVANT AUSTRALIAN STANDARDS.

EXCAVATE AND ACKFILL AS REQUIRED FOR ALL WORK SHOWN ON THE DRAWINGS. THE EXCAVATION AND PLACEMENT OF FILL SHALL BE UNDERTAKEN IN ACCORDANCE WITH NCC H1D3. SITE PREPARATION

3 CONCRETE

3.01 TERMITE RISK MANAGEMENT

TERMITE BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH NCC H1D3 SITE

3.02 DAMP PROOF MEMBRANE NSW (NN H1D4 FOOTINGS AND SLABS)

DAMP PROOF MEMBRANE INSTALLED UNDER SLAB ON GROUND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NSW VARIATION NCC H1D4 FOOTINGS AND SLABS.

3.03 - FORMWORK

QUALITY FORMWORK SHALL BE USED TO PROVIDE SHAPE, LINE, TRUE POSITIONING AND DIMENSION TO CARRY ALL IMPOSED LOADS. BRACE SUFFICIENTLY TO PREVENT BOWING OR BUCKLING WHILE CONCRETE IS BEING POURED AND CURED.

3.04 REINFORCEMENT (AS2870) RESIDENTIAL SLABS AND FOOTINGS

STEEL REINFORECMENT SHALL COMPLY WITH AS2870 RESIDENTIAL SLABS AND FOOTINGS AND THE ENGINEERING DETAILS.

3.05 PREMIXED CONCRETE

PREMIXED CONCRETE SHALL BE SUPPLIED TO COMPLY WITH AS3600 CONCRETE STRUCTURES.

TRENCHES AND FOOTINGS SHALL BE DEWATERED AND CLEANED OF LOOSE AND SOFTENED MATERIAL PRIOR TO CONRETE PLACEMENT.

CONCRETE SHALL BE CURED BY COVERING WITH PLASTIC SHEETING. THE APPLICATION OF A SUITABLE CURING COMPOUND, BY KEEPING CONTINUALLY DAMP, OR IN ACCORDANCE WITH AS3600.

3.08 FOOTINGS AND SLAB ON GROUND

CONCRETE SLABS AND FOOTINGS SHALL NOT BE PURED WITHOUT APPROVAL OF THE ENGINEER AND THE PCA.

3.09 PIER AND BEAM FOOTINGS

WHERE NOMINATED. PIER AND BEAM FOOTINGS SHALL BE CONSTRUCTED TO THE ENGINEERS DESIGN AND SHALL NOT BE POUED WITHOUT APPROVAL OF THE ENGINEER AND THE PCA

3.10 SCREW IN FOUNDATIONS

SCREW IN FOUNDATIONS AND PROPRIETARY BRAND FLOORING SYSTEMS BASED ON COMPOSITE DESIGN WITH PRE-CAST BEAMS AND SITU CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND

3.11 CONCRETE PATHS

CONCRETE PATHS SHALL BE AT LEAST 75mm THICK AND IN UNREINFORCED LAID IN SECTIONS NO MORE THAN 1800mm IN LENGTH. IF REINFORCED, THE MAXIMUM LENGTH OF EACH SECTION SHALL BE NO MORE THAT 3000mm

4. RETAINING WALLS

4.01 RETAINING WALLS

RETAINING WALLS SHALL BE CONTRUCTED AS IDENTIFIED BY THE APPROVED PLANS. THE LOCATION OF RETAINING WALLS TO BOUNDAIRIES SHALL BE CONFIRMED BY A QUALIFIED ENGINEER PRIOR TO CONSTRUCTION.

5. DRAINAGE AND WASTE WATER TREATMENT

ALL DRAINAGE WORK SHALL BE CARRIED OUT BY A LICENSED PLUMBER. STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC H2D2 DRAINAGE AND AS/NZS 3500 PLUMBING AND DRAINAGE SERIES.

6.01 MASONRY UNITS

MASONRY UNITS ARE TO BE AS SELECTED AND IDENTIFIED IN THE SCHEDULE MASONRY UNITS PRODUCED FORM CLAY, CONCRETE AND CALCIUM SILICATE SHALL COMPLY WITH AS/NZS 4455 MASONRY UNITS, PAVERS, FLAGS

MASONRY LINITS EXPOSED TO SALT ATTACK SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF AS3700 MASONRY STRUCTURES.

MASONRY CONSTRUCTION SHALL COMPLY WITH AS4733.1 MASONRY IN SMALL BUILDINGS PART 1 AND 2 AND NNC H2D4 MASONRY.

MORTAR MIXES SHALL COMPLY WITH AS3700 MASONRY STRUCTURES.

MORTAR FOR REINFORCED MASONRY SHALL BE OF MORTAR CLASS EITHER

6.04 CAVITIES AND WEEPHOLES

IN BRICK VENEER CONSTRUCTION. THE MINIMUM CAVITY WIDTH SHALL BE 25mm MEASURED CLEAR OF ANY CONDUIT, INSULATION OR SERVICES

WEEPHOLES SHALL BE CREATED BY OPEN PERPENDS, FREE OF MORTAR AND OTHER MATERIALS,, AT CENTRES NOT EXCEEDING 1200mm CENTRES AND IN ACCORDANCE TO AS4773.1

6.05 WALL TIES

WALLS TIES ARE TO COMPLY WITH AS4773.1 AND SHALL BE MANUFACTURED IN ACCORDANCE WITH AS/NZS2699.1.

LINTELS SHALL COMPLY WITH AS2699 PART 3 BUILT IN COMPONENTS FOR MASONRY CONSTRUCTION AND AS3600.

STEEL LINTELS TO COMPLY WITH AS4100 AND AS/NZS4600

6.07 DAMP PROOF COURSES

FLASHINGS AND DAMP PROOF MEMBRANE SHALL BE MANUFACTURED TO AS/NZS2904 DAMP PROOF COURSES AND FLASHINGS.

6.08 ACCESS AND SUB FLOOR VENTILATION

SUBFLOOR VENTILATION SHALL BE PROVIDED IN ACCORDANCE WITH NCC H2D5 SUBFLOOR VENTILATION.

7. CARPENTRY (NCC H1D6 FRAMING)

7.01 GENERA

ALL TIMBER USED SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND COMPLY WITH THE PROVISIONS OF AS1720 TIMBER STRUCTURES AND AS1684 $\,$ RESIDENTIAL TIMBER FRAMED CONSTRUCTION.

7.02 ENGINEERED TIMBER PRODUCTS

FABRICATED GLUE-LAMINATED TIMBER BEAMS ARE TO CONFORM TO AS1328 GLUE LAMINATED STRUCTURAL TIMBER, PART 1: PERFORMACE REQUIREMENTS AND MINIMUM PRODUCTION REQUIREMENTS.

7 03 HANDLING AND STORAGE

TIMBER AND TIMBER PRODUCTS TO DELIVERED TO THE SITE SHALL BE STORED AT LEAST 150mm OFF THE GROUND, STORED LEVEL, EVENLY SUPPORTED, WELL VENTILATED AND PROTECTED FROM THE RAIN AND SUN.

7.04 CORROSION PROTECTION

ALL CONNECTORS, FIXING PLATES, BRACKETS AND GENERAL FIXINGS SHALL SHALL SUIT EXPOSURE LEVEL AND COMPATIBLE TO AVOID GALVANIC OR ELECTRO-CHEMICAL

FLOOR STRUCTURE SIZES AND SPACING ARE TO BE IN ACCORDANCE WITH AS1684 RESIDENTIAL TIMBER FRAMING CONSTRUCTION.

FLOORING IS TO BE CLEAR FINISHED AND SHALL NOT BE LAID UNTIL THE BUILDING IS WEATHER TIGHT. CHECK SUPPLIER CERTIFICATE FOR SPECIES, GRADE SIZE AND MOISTURE CONTENT PRIOR TO LAYING.

7.07 PLYWOOD STRUCTURAL FLOORING

STRUCTURAL PLYWOOD MUST BE MANUFACTURED IN ACCORADANCE WITH AS/NZS2269 PLYWOOD - STRUCTURAL - SPECIFICATIONS AND SHEETS STAMPED WITH MANUFACTURERS NAME OR TRADEMARK.

SHEETS SHALL BE INSTALLED IN ACCORDANCE WITH AS1684

PLYWOOD FACE GRAIN MUST RUN AT RIGHT ANGLES TO THE JOISTS AND SHALL BE CONTINUOUS OVER AT LEAST TWO SPANS.

7.08 PARTICLEBOARD FLOORING

PARTICLEBOARD FLOORING SHALL BE LAID AND FIXED IN ACCORDANCE WITH AS 1860.2 PARTICALEBOARD FLOORING.

WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER.

PROVIDE WALL SARKING AS NOTED ON THE DRAWINGS AND NOTED IN THE SCHEDULE AND IN ACCORDANCE WITH AS 4200 PLIABLE BUILDING MEMBRANES AND UNDERLAYS.

TIMBER STAIRS ARE TO BE DESIGNED AND CONSTRUCTED TO RISER. GOING AND BALUSTRADE DIMENSIONS AND COMPLY WITH NCC H5D2 STAIRWAY AND RAMI CONSTRUCTION AND AS/NZS 1657 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND

ROOF TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH DESIGNS PREPARED BY A PRACTISING STRUCTURAL ENGINEER, AS 1720.1 TIMBER STRUCTURES, PART 1: DESIGN METHODS AND AS 1720.5 TIMBER STRUCTURES, PART 5 NAIL PLATED TIMBER ROOF TRUSSES.

7.13 ROOF BRACING

PROVIDE ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAILS AND SECTION 8 OF AS 1684.

7.14 VERANDAH POSTS

VERANDAH POSTS UNLESS OTHERWISE SPECIFIED SHALL BE A MINIMUM 0F 100mm X 100mm OR AS REQUIRED BY AS 1684.

7.15 EAVES SOFFI

WHERE OVERHANG IS LESS THAN 600mm SUPPORT LININGS ON 45mm X 32mm SOFFIT BEARERS AT NOT MORE THAN 450mm CENTRES. WHERE OVERHANG IS BETWEEN 600mm AND 1500mm, SUPPORT SOFFIT LININGS ON 70x35 SOFFIT BEARERS AT NOT MORE THAN 450mm CENTRES.

7 16 VENTILATION OF ROOF SPACES.

VENTILATE THE ROOF SPACE AT THE RIDGE. GABLE AND OR/OR EAVES TO EFFECTIVELY CROSS VENTILATE THE WHOLE OF THE ROOF SPACE AS DESCRIBED IN THE ABCB PART 10.8.3 VENTILATION OF ROOD SPACES VENTILATION OF ROOF SPACES.

7.16 HOT WATER STORAGE TANK SUPPORT

WHERE SOLAR WATER HEATERS INCORPORATING A ROOF SOTRAGE TANK ARE INSTALLED INTO THE ROOF DESIGN

8 STEEL FRAMING (NCC H1D6 FRAMING)

8.01 GENERAL

STEEL FRAMING WILL COMPLY WITH NCC H1D6 FRAMING, STEEL FRAMING SHALL BE DESIGNED AND CONSTRUCTED TO EITHER

- AS/NZS 4600 COLD FORMED STEEL STRUCTURES
- NASH RESIDENTIAL AND LOW-RISE STEEL FRAMING PART 1 DESIGN

8.02 CORROSION PROTECTION

THE STEEL FRAME MUST BE PROTECTED FROM CORROSION IN ACCORDANCE WITH NCC H1D6 FRAMING

9 ROOFING (NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING

9.01 GENERAL

ALL ROOF CLADDING SHALL COMPLY WITH NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING AND ONE OR MORE OF THE FOLLOWING REFERENCED DOCUMENTS RELEVANT TO THE WORK.

- AS 2049 ROOF TILES
- AS 2050 INSTALLATION OF ROOF TILES
- AS1562.1 DESIGN AND INSTALLATION OF SHEET ROFF AND WALL CLADDING AS/NZS 4256 PTS 1, 2, 3 AND 5. AND AS/NZS 1562.3 PLASTIC SHEETING ROOF

PROVIDE ROOF TILES AS SHOWN ON THE DRAWINGS. ROOF TILES SHALL BE OF A COLOUR, PROFILE AND MATERIAL NOTED IN THE SCHEDULE AND COMPLY WITH NCC H2H6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING.

PROVIDE METAL ROOFING AS SHOWN ON THE DRAWINGS. METAL ROOFING SHALL BE OF A PROFILE AND COLOUR AS PROVIDED IN THE SCHEDULE. METAL ROOFING AND ACCESSORIES SHALL BE INSTALLED TO THE MANUFACTURERS RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING.

9 04 BATTENS TIMBER BATTENS SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH AS 1684.2

RESIDENTIAL TIMBER FRAMED CONTRUCTION. REFLECTIVE FOIL SARKING SHALL COMPLY WITH AS 4200.1 PLIABLE BUILDING MEMBRANE AND UNDERLAYS, PART 1: MATERIALS AND BE INSTALLED IN ACCORDANCE

WITH AS4200.2 PLIABLE BUILDING MEMBRANES AND UNDERLAYS, PART 2: INSTALLATION

REQUIREMENTS.

FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH ABCB PART 7.2.7 FLASHINGS AND CAPPINGS.

9.07 GUTTERS AND DOWNPIPES

GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING.

10 INTERNAL LININGS

10.01 WALLS

WALLS SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS

10.02 WET AREA LININGS

WET AREA LININGS SHALL BE OF WATER RESISTANT MATERIAL FOR FULL WALL HEIGHT IN ACCORDANCE WITH NCC H4D2 WET AREAS AND NCC H4D3 MATERIALS AND INSTALLATION

10.03 CEILING LININGS

CEILING LININGS SHALL BE 13mm GYPSUM PLASTERBOARD OR 10mm HIGH DENSITY PLASTERBOARD

11 WATERPROOFING

FROM THE DRAWINGS, IDENTIY THE AREAS TO BE WATERPROOFED

WATERPROOFING TO INTERNAL WET AREAS AND BALCONIES OVER HABITABLE AREAS SHALL BE IN ACCORDANCE WITH NCC H4D2 WET AREAS AND NCC H4D3 MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS AND AS 3740.

12 JOINERY

12.01 GENERALLY

ALL FIXING OUT TIMBER TO BE SEASONED AND FREE FROM DEFECTS WHICH MIGHT AFFECT APPEARANCE OR DURABILITY. ALL TIMBERS USED ARE TO BE DRESSED ALL ROUND.

12 02 DOORS

EXTERNAL DOORS ARE TO BE SOLID CORE OR FRAMED AND GLAZED AND NOT LESS THAN 2040x820x40mm THICK

ALUMINIUM AND TIMBER WINDOWS SHALL BE MANUFACTURED AND INSTALLED IN

ACCORDANCE WITH AS2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS.

ALL GLAZING SHALL COMPLY WITH NCC H1D8 GLAZING, NCC H2D7 GLAZING AND AS 1288

GLASS IN BUILDINGS - SELECTION AND INSTALLATION.

ALL PLUMBING WORK IS TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA AND COMPLY WITH THE REQUIREMENTS OF THE PLUMBING AND DRAINAGE REGULATOR OR LOCAL AUTHORITY

13.01 STORMWATER DRAINAGE

GUTTERING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NCC H2D6 ROOF AND WALL CLADDING, NCC H1D7 ROOF AND WALL CLADDING AND AS 3500 PLUMBING AND DRAINAGE.

ALL ELECTRICAL WORK SHALL BE UNDERTAKEN BY A LICENSED ELECTRICIAN COMPLIANCE WITH AS/NZS ELECTRICAL INSTALLATIONS IS A LEGAL REQUIREMENT 14.02 SMOKE ALARMS

14 ELECTRICAL

SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH NCC H3D6 SMOKE ALARMS. AND EVACUATION LIGHTING AND COMPLY WITH AS 3786 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION.

15 WALL AND FLOOR TILING

15.01 GENERA

PROVIDE WALL AND FLOOR TILES SHOWN ON THE DRAWINGS AND/OR INCLUDED IN THE SCHEDULE.

15.01 FALLS IN WET AREAS

GRADE FLOOR TILES TO FLOOR WASTES AND ELSEWHERE AS REQUIRED, NCC 10.2.12

MAX CONTINUOUS FALL OF A FLOOR PLANE TO WASTE 1:50

ALL PAINT AND RELATED PRODUCTS SUCH AS PRIMERS, SEALERS AND FILLERS SHALL BE COMPATIBLE. SUITABLE FOR PURPOSE AND USED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND THE MANUFACTURERS SAFETY DATA SHEET.

B Council Issue 08/03/25 05/06/24 Α Concept Plan Date Rev Amendment



PROPOSED SECONDARY DWELLING

FOR R&K FINLAY-JONES

AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427

BE READ IN CONJUNCTION WITH THE DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS. VERIFY ALL DIMENSIONS BEFORE ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE

SPECIFIED

STANDARD NOTES: ALL ARCHITECTURAL DRAWINGS TO

1789625S CERT. No.

BASIX

SPECIFICATIONS

039-MCD 01

DRAWN J.A.J

08/04/25

DRAWING No

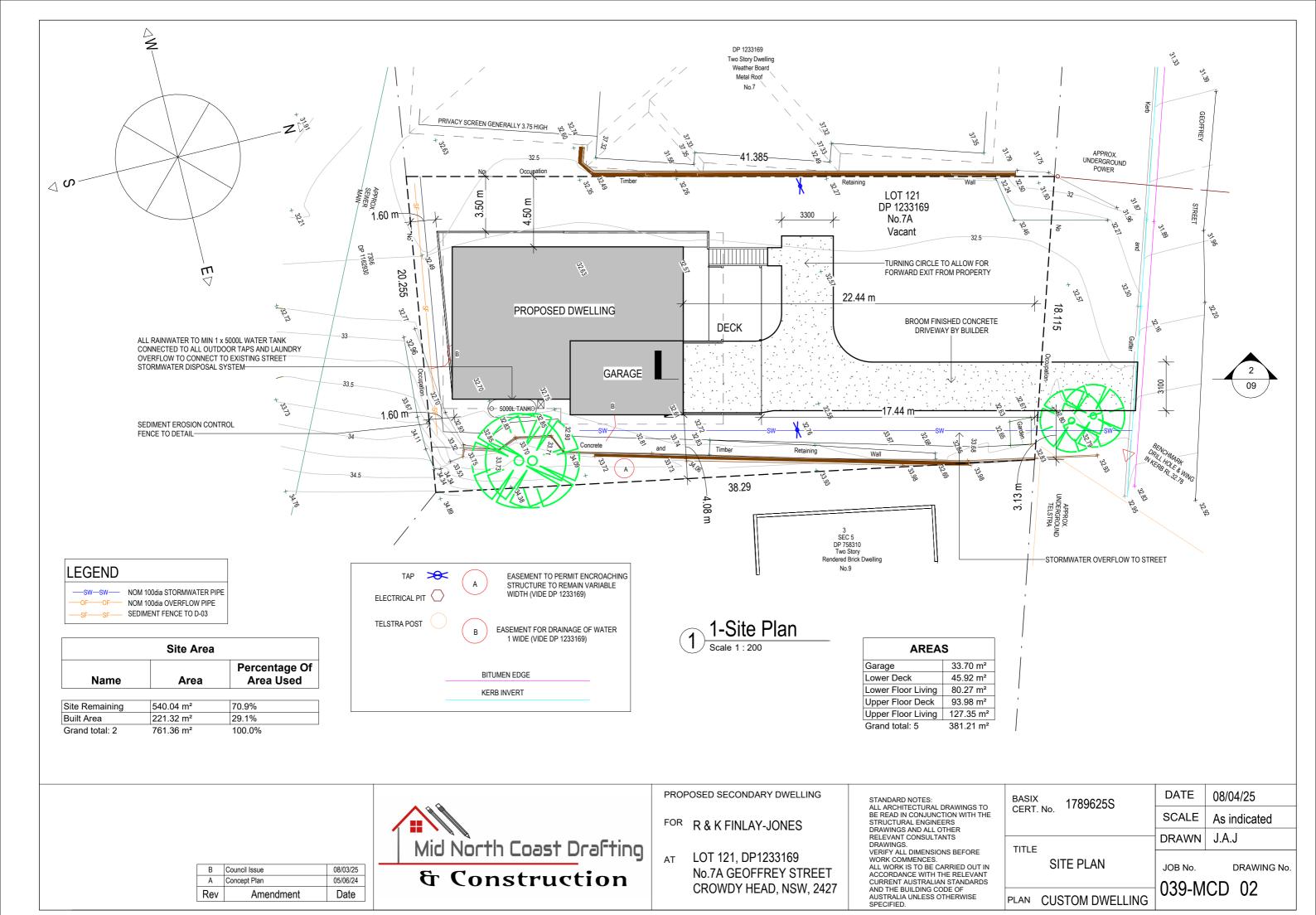
MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO WASTE 1:80

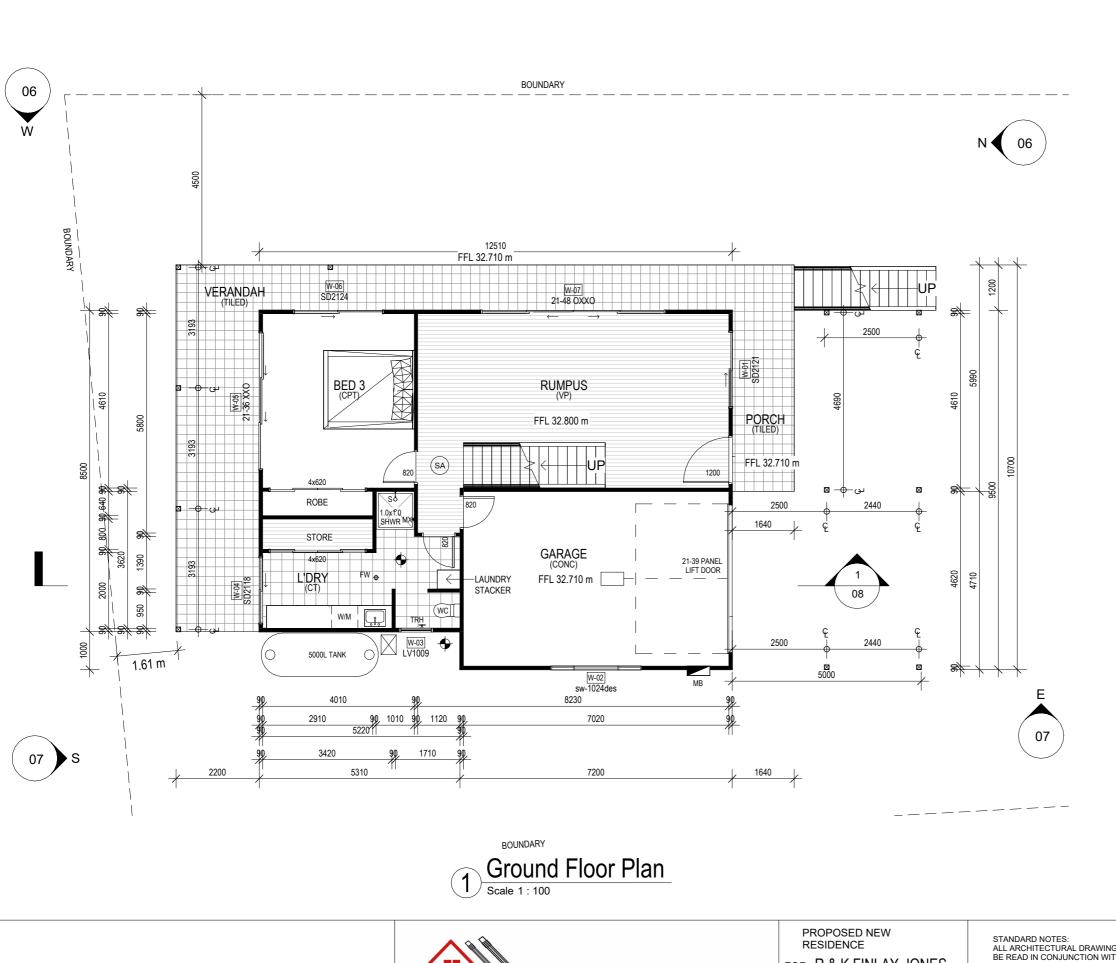
PLAN CUSTOM DWELLING

JOB No.

DATE

SCALE





Room Schedule		LEGEND		
		CPT	CARPET	
ALFRESCO	42.97 m²	CT	CERAMIC TILES	
		C/T	COOK TOP	
BATH	6.28 m ²	DP	DOWNPIPE	
BED 1	25.41 m ²	DPS	DOWNPIPE & SPREADER	
BED 2	13.80 m²	DTR / TR	TOWEL RAIL (DOUBLE) / (SINGLE)	
BED 3	20.61 m ²	HK	ROBE HOOK @ 1750	
		FT	BAMBOO FLOORING	
DECK	50.88 m ²	FFL	FINISHED FLOOR LEVEL	
DINING	15.57 m ²	GFL	GARAGE FLOOR LEVEL	
ENS	6.48 m²	HWD	HARDWOOD DECKING	
		HWS	SOLAR HOT WATER SYSTEM (GAS BOOST)	
GARAGE	32.43 m ²	MB	RECESSED ELECTRICAL METER BOX	
KITCHEN	33.21 m ²	RAIL	700mm SHOWER RAIL	
L'DRY	15.02 m ²	MX	MIXER	
LIVING	18.81 m²	O/H	OVERHEAD CUPBOARDS	
		720 PL	DOOR WITH PRIVACY LOCK	
LOFT	12.31 m²	R/H	RANGEHOOD (DUCTED)	
PORCH	9.76 m ²	S/D	SETDOWN	
RUMPUS	39.27 m²	FW	FLOOR WASTE	
STORAGE	17.48 m²	ST	SERVICES STACK	
		S	SPOUT	
VERANDAH	36.15 m ²	T	TAP	
Grand total: 17	396.45 m ²	RT	TOWEL RING @ 1100	
		Trns	TRANSLUCENT GLASS	

AREA	AS
Garage	33.70 m²
Lower Deck	45.92 m²
Lower Floor Living	80.27 m ²
Upper Floor Deck	93.98 m²
Upper Floor Living	127.35 m ²
Grand total: 5	381.21 m²
ROOF	211 m ²

CEILING FAN LIGHT COMBO

TOILET ROLL HOLDER

WASHING MACHINE TOILET

WM

DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 350mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE.

Window Schedule				
No.	Height	Width	Description	Area
01	2100	2050	Sliding Door	4.31 m²
02	1027	2410	Sliding Window	2.48 m ²
03	1000	900	Louvre Window	0.90 m ²
04	2100	1810	Sliding Door	3.80 m ²
05	2100	3600	Sliding Door	7.56 m ²
06	2100	2410	Sliding Door	5.06 m ²
07	2100	4810	Sliding Door	10.10 m ²
80	2100	5400	Stacking Door	11.34 m²
09	2100	3600	Sliding Door	7.56 m²
10	1500	700	Fixed Window	1.05 m ²
11	1500	700	Fixed Window	1.05 m ²
12	1500	700	Louvre Window	1.05 m ²
13	1500	900	Louvre Window	1.35 m ²
14	600	2400	Sliding Window	1.44 m²
15	2100	3100	Sliding Door	6.51 m ²
16	1457	850	Double Hung Window	1.24 m²
17	2100	4400	Sliding Door	9.24 m²
18	2100	4400	Sliding Door	9.24 m²
19	600	2400	Fixed Window	1.44 m²
20	1200	2170	Sliding Window	2.60 m ²
21	1300	900	Louvre Window	1.17 m ²
22	1800	900	Louvre Window	1.62 m ²
23	1800	2100	Fixed Window	3.78 m ²
24	1800	4400	Louvre Window	7.92 m²
25	1800	1800	Fixed Window	3.24 m ²
				107.05

Grand total: 25

107.05 m²

		Mid North Coast Drafting
il Issue	08/03/25	
pt Plan	05/06/24	বি Construction
Amendment	Date	d Collaction

B Council Issue

A Concept Plan

Rev

FOR R & K FINLAY-JONES AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427

STANDARD NOTES: ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS. DRAWINGS.
VERIFY ALL DIMENSIONS BEFORE
WORK COMMENCES.
ALL WORK IS TO BE CARRIED OUT IN
ACCORDANCE WITH THE RELEVANT
CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED.

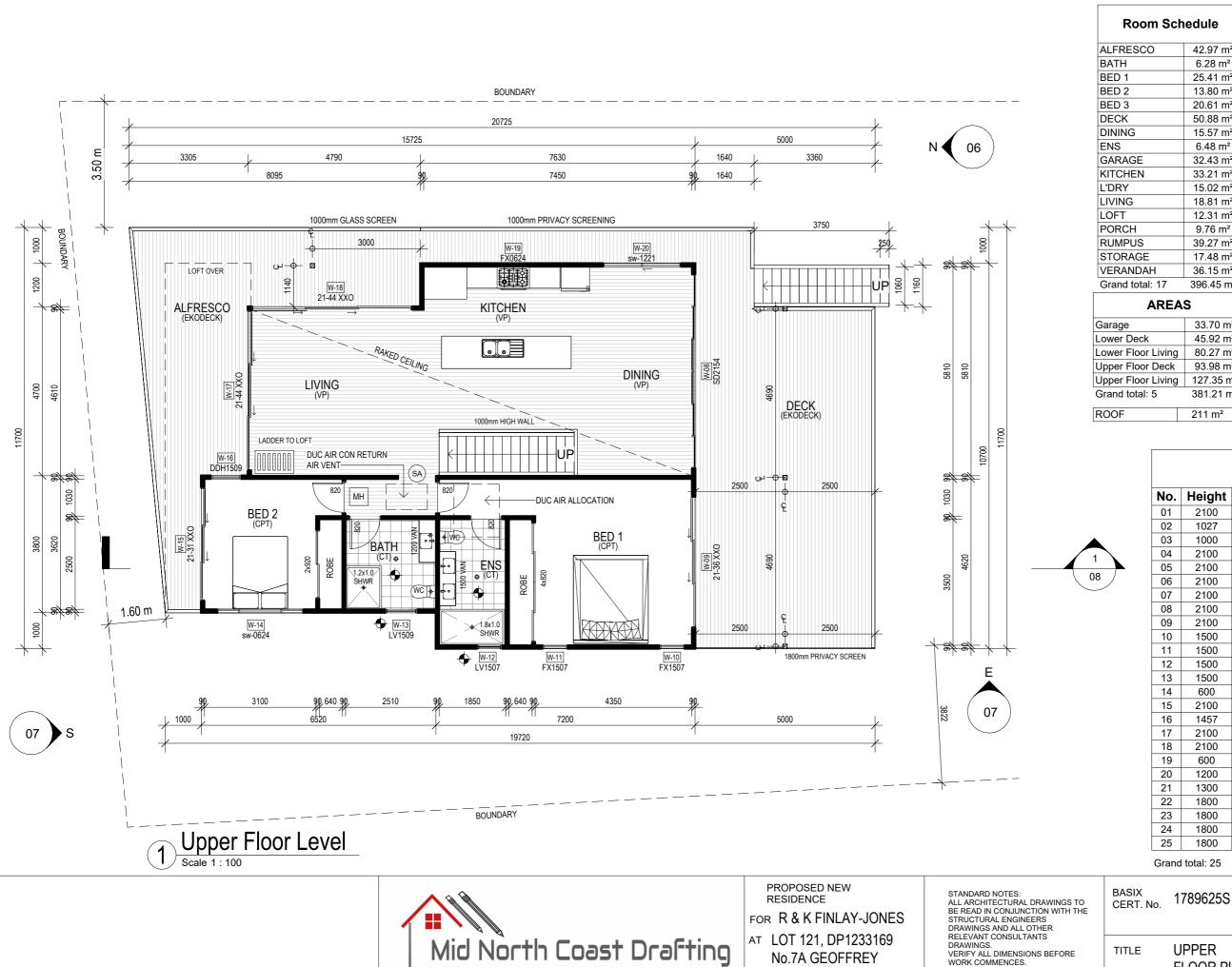
BASIX CERT. No.	1789625S	
TITLE	GROUND	L

08/04/25 SCALE 1:100 DRAWN J.A.J

FLOOR PLAN JOB No. DRAWING No.

DATE

039-MCD 03 PLAN CUSTOM DWELLING



Room Schedule		
ALFRESCO	42.97 m²	
BATH	6.28 m ²	
BED 1	25.41 m ²	
BED 2	13.80 m²	
BED 3	20.61 m ²	
DECK	50.88 m ²	
DINING	15.57 m²	
ENS	6.48 m²	
GARAGE	32.43 m ²	
KITCHEN	33.21 m ²	
_'DRY	15.02 m ²	
LIVING	18.81 m²	
_OFT	12.31 m ²	
PORCH	9.76 m ²	
RUMPUS	39.27 m ²	
STORAGE	17.48 m²	
/ERANDAH	36.15 m ²	
Grand total: 17	396.45 m ²	

AREAS	S
Garage	33.70 m ²
Lower Deck	45.92 m ²
Lower Floor Living	80.27 m ²
Upper Floor Deck	93.98 m ²
Upper Floor Living	127.35 m ²
Grand total: 5	381.21 m ²

DOWNPIPE DOWNPIPE & SPREADER DTR / TR TOWEL RAIL (DOUBLE) / (SINGLE ROBE HOOK @ 1750 BAMBOO FLOORING FINISHED FLOOR LEVEL GARAGE FLOOR LEVEL HARDWOOD DECKING SOLAR HOT WATER SYSTEM (GAS BOOST) RECESSED ELECTRICAL METER BOX 700mm SHOWER RAIL RAIL MIXER OVERHEAD CUPBOARDS 720 PL DOOR WITH PRIVACY LOCK RANGEHOOD (DUCTED) FLOOR WASTE SERVICES STACK SPOUT TOWEL RING @ 1100 TOILET ROLL HOLDER WASHING MACHINE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE

LEGEND

CERAMIC TILES COOK TOP

4	\A/idth	Docorin
	Windov	v Schedule

No.	Height	Width	Description	Area
01	2100	2050	Sliding Door	4.31 m ²
02	1027	2410	Sliding Window	2.48 m ²
03	1000	900	Louvre Window	0.90 m ²
04	2100	1810	Sliding Door	3.80 m ²
05	2100	3600	Sliding Door	7.56 m ²
06	2100	2410	Sliding Door	5.06 m ²
07	2100	4810	Sliding Door	10.10 m ²
08	2100	5400	Stacking Door	11.34 m ²
09	2100	3600	Sliding Door	7.56 m ²
10	1500	700	Fixed Window	1.05 m ²
11	1500	700	Fixed Window	1.05 m ²
12	1500	700	Louvre Window	1.05 m ²
13	1500	900	Louvre Window	1.35 m ²
14	600	2400	Sliding Window	1.44 m²
15	2100	3100	Sliding Door	6.51 m ²
16	1457	850	Double Hung Window	1.24 m²
17	2100	4400	Sliding Door	9.24 m ²
18	2100	4400	Sliding Door	9.24 m ²
19	600	2400	Fixed Window	1.44 m²
20	1200	2170	Sliding Window	2.60 m ²
21	1300	900	Louvre Window	1.17 m ²
22	1800	900	Louvre Window	1.62 m ²
23	1800	2100	Fixed Window	3.78 m ²
24	1800	4400	Louvre Window	7.92 m ²
25	1800	1800	Fixed Window	3.24 m²
Grand	l total: 25			107.05

Grand total: 25

DRAWING No.

AT LOT 121, DP1233169 No.7A GEOFFREY STREET

RELEVANT CONSULTANTS DRAWINGS. DRAWINGS.
VERIFY ALL DIMENSIONS BEFORE
WORK COMMENCES.
ALL WORK IS TO BE CARRIED OUT IN
ACCORDANCE WITH THE RELEVANT
CURRENT AUSTRALIAN STANDARDS

UPPER TITLE FLOOR PLAN

DATE 08/04/25 SCALE 1:100 DRAWN J.A.J

039-MCD 04

PLAN CUSTOM DWELLING

AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED.

08/03/25 & Construction 05/06/24 CROWDY HEAD, NSW, Date Amendment 2427

B Council Issue







Room Sch	nedule
ALFRESCO	42.97 m²
BATH	6.28 m ²
BED 1	25.41 m²
BED 2	13.80 m²
BED 3	20.61 m ²
DECK	50.88 m²
DINING	15.57 m²
ENS	6.48 m ²
GARAGE	32.43 m²
KITCHEN	33.21 m²
L'DRY	15.02 m²
LIVING	18.81 m²
LOFT	12.31 m²
PORCH	9.76 m ²
RUMPUS	39.27 m²
STORAGE	17.48 m²
VERANDAH	36.15 m ²
Grand total: 17	396.45 m ²

AREAS				
Garage	33.70 m²			
Lower Deck	45.92 m²			
Lower Floor Living	80.27 m²			
Upper Floor Deck	93.98 m²			
Upper Floor Living	127.35 m²			
Grand total: 5	381.21 m²			
ROOF	211 m²			

CERAMIC TILES COOK TOP DOWNPIPE DOWNPIPE & SPREADER DTR / TR TOWEL RAIL (DOUBLE) / (SINGLE) ROBE HOOK @ 1750 BAMBOO FLOORING FINISHED FLOOR LEVEL GARAGE FLOOR LEVEL HWD HARDWOOD DECKING SOLAR HOT WATER SYSTEM (GAS BOOST)
RECESSED ELECTRICAL METER BOX RAIL 700mm SHOWER RAIL MIXER OVERHEAD CUPBOARDS 720 PL DOOR WITH PRIVACY LOCK R/H RANGEHOOD (DUCTED) S/D SETDOWN FLOOR WASTE SERVICES STACK SPOUT TOWEL RING @ 1100 TRANSLUCENT GLASS TOILET ROLL HOLDER WASHING MACHINE TOILET CEILING FAN LIGHT COMBO CEILING DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 350mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE

LEGEND

_	1	
	80	\mathcal{F}



No.	Height	Width	Description	Area
01	2100	2050	Sliding Door	4.31 m ²
02	1027	2410	Sliding Window	2.48 m ²
03	1000	900	Louvre Window	0.90 m ²
04	2100	1810	Sliding Door	3.80 m ²
05	2100	3600	Sliding Door	7.56 m ²
06	2100	2410	Sliding Door	5.06 m ²
07	2100	4810	Sliding Door	10.10 m ²
08	2100	5400	Stacking Door	11.34 m²
09	2100	3600	Sliding Door	7.56 m ²
10	1500	700	Fixed Window	1.05 m ²
11	1500	700	Fixed Window	1.05 m ²
12	1500	700	Louvre Window	1.05 m ²
13	1500	900	Louvre Window	1.35 m ²
14	600	2400	Sliding Window	1.44 m²
15	2100	3100	Sliding Door	6.51 m ²
16	1457	850	Double Hung Window	1.24 m ²
17	2100	4400	Sliding Door	9.24 m ²
18	2100	4400	Sliding Door	9.24 m ²
19	600	2400	Fixed Window	1.44 m²
20	1200	2170	Sliding Window	2.60 m ²
21	1300	900	Louvre Window	1.17 m ²
22	1800	900	Louvre Window	1.62 m²
23	1800	2100	Fixed Window	3.78 m ²
24	1800	4400	Louvre Window	7.92 m ²
25	1800	1800	Fixed Window	3.24 m ²

Window Schedule

Grand total: 25

107.05 m²

	Mid North Coast Drafting
03/25 06/24 ate	& Construction

PROPOSED NEW RESIDENCE

FOR R & K FINLAY-JONES AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427

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CURRENT AUSTRALIAN STANDARDS

			111
BASIX	1789625S	DATE	08/04/25
CERT. No.	17000200	SCALE	1:100
TITI F	LOFT FLOOR	DRAWN	J.A.J
IIILE	PLAN	JOB No	DRAW

DRAWING No. JOB No. 039-MCD 05

AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED. PLAN CUSTOM DWELLING

	В	Council Issue	08/03/25	
	Α	Concept Plan	05/06/24	
F	Rev	Amendment	Date	

2110

W-25 FX1818

LOFT (VP)

W-22 LV1809

W-24 LV1844

W-23 FX1821

5810

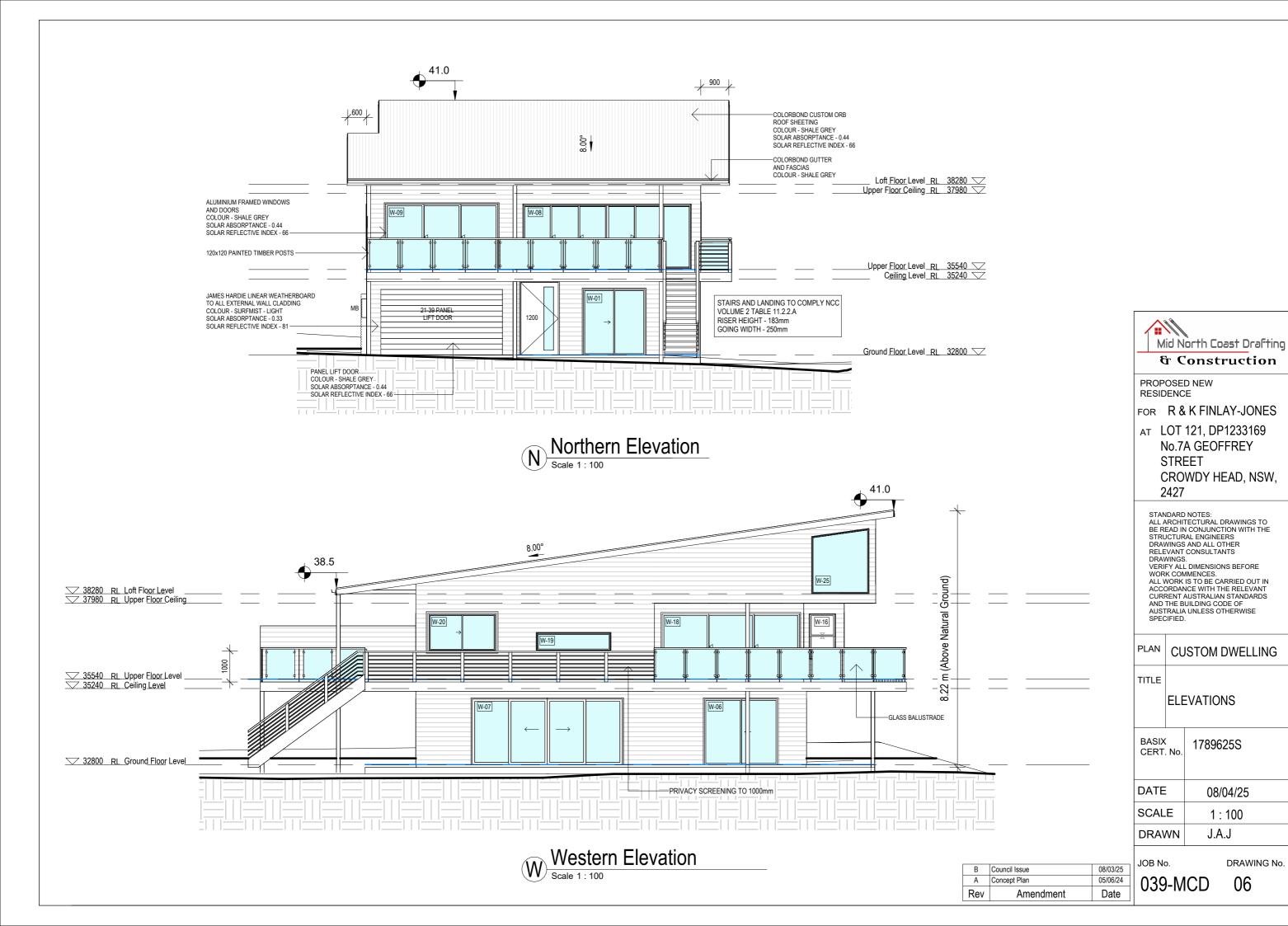
2720

LADDER TO LOFT

W-21 LV1309

STORAGE (VP)

Loft Floor Level

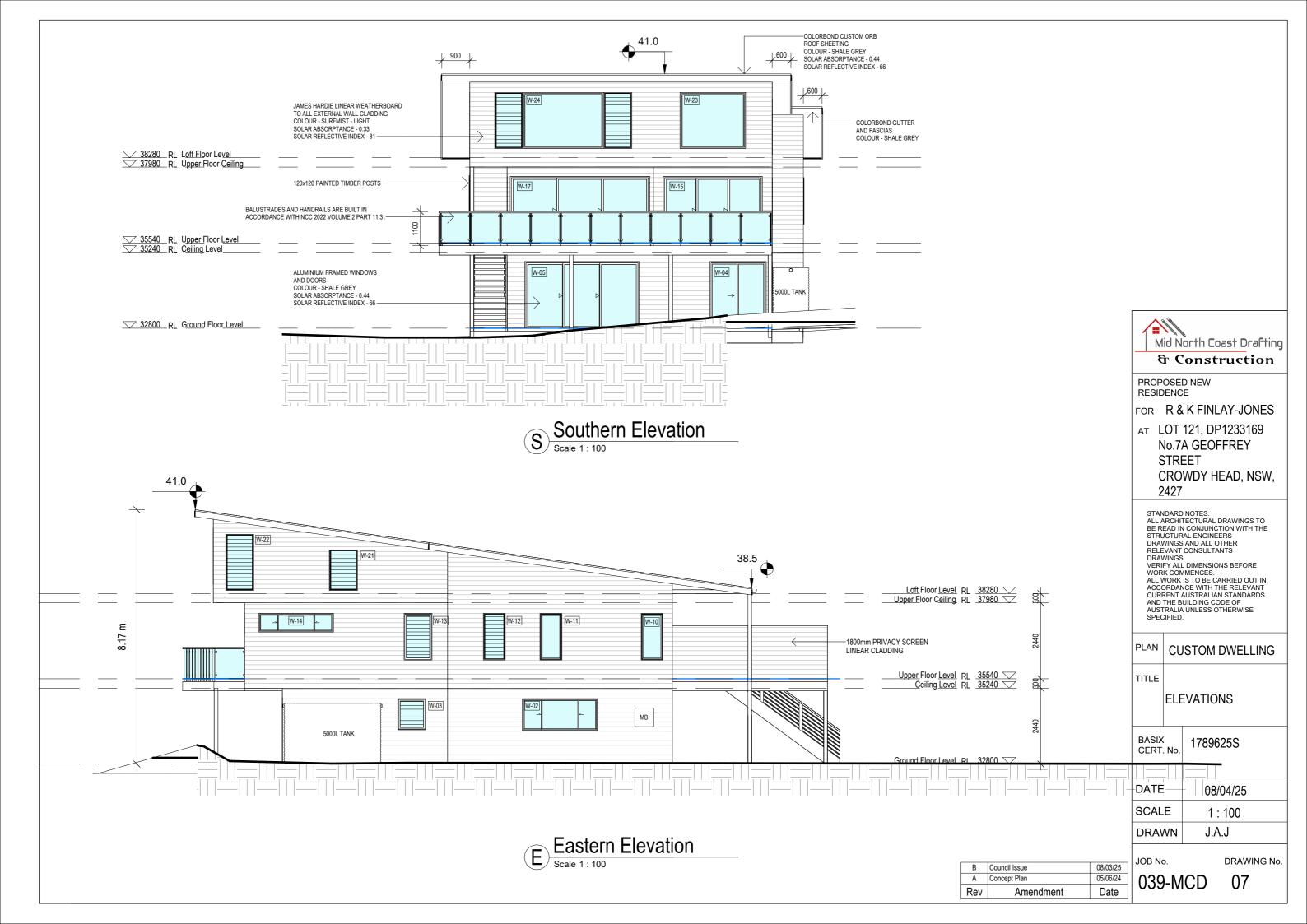


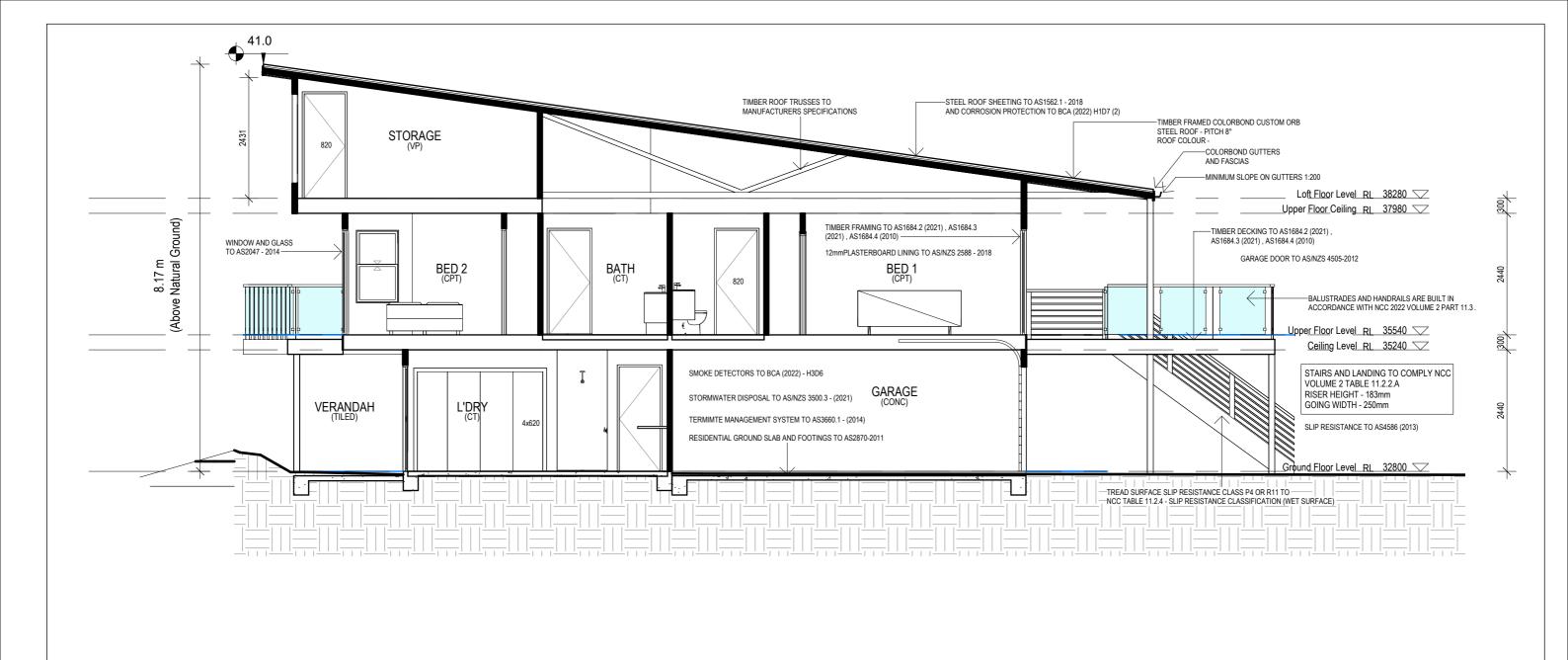
08/04/25

1:100 J.A.J

DRAWING No.

06









PROPOSED SECONDARY DWELLING

FOR R&K FINLAY-JONES

AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427 STANDARD NOTES:
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VERIFY ALL DIMENSIONS BEFORE WORK COMMENCES.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED.

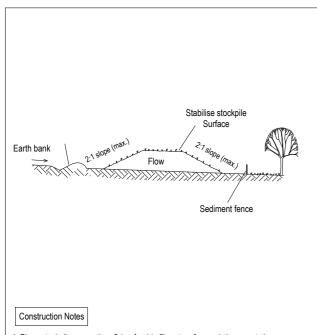
BASIX 1789625S	DATE	08/04/25
CERT. No. 17090233	SCALE	1:75
	DRAWN	J.A.J
TITLE		

SECTION JOB No. DRAWING No. 039-MCD 08

VDY HEAD, NSW, 2427

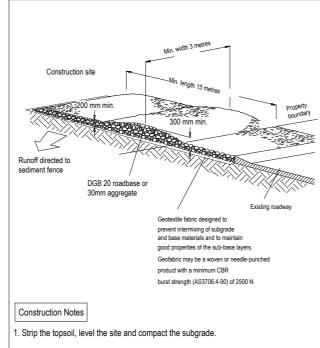
AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED.

PLAN CUSTOM DWELLING



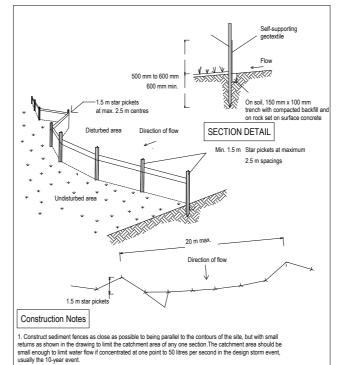
- 1. Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
- 2. Construct on the contour as low, flat, elongated mounds.
- 3. Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
- 4. Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
- 5. Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-8) 1 to 2 metres downslope.

STOCKPILES D.01



- 2. Cover the area with needle-punched geotextile
- 3. Construct a 200 mm thick pad over the geotextile using road base or 30 mm aggregate.
- 4. Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide
- 5. Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence

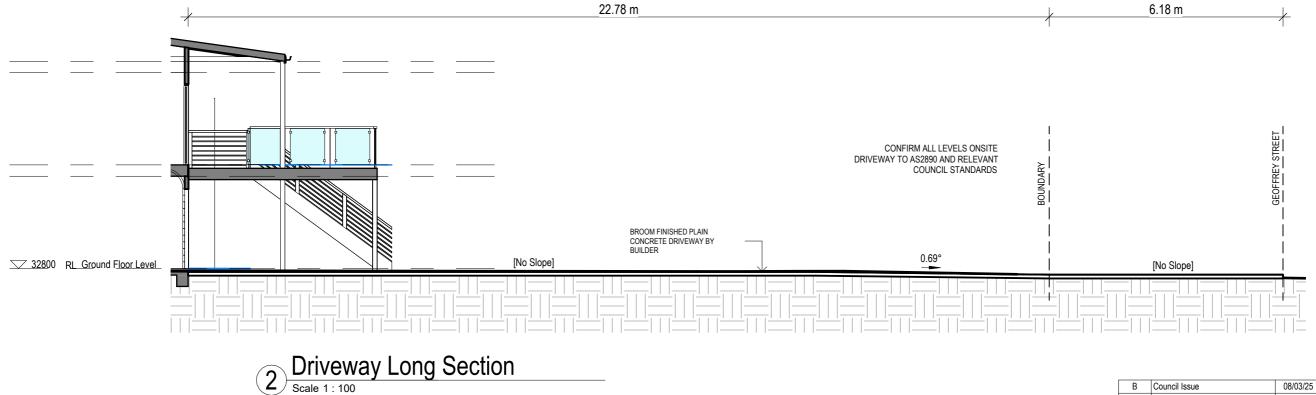
STABILISED SITE ACCESS D.02



- Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
- 3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
- 4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
- 5. Join sections of fabric at a support post with a 150-mm overlap.
- 6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile

SEDIMENT FENCE D.03

Sediment Erosion Control





PROPOSED NEW RESIDENCE

FOR R&K FINLAY-JONES

AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427

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PLAN	CUSTOM DWELLING
TITLE	
	DETAIL SECTIONS

BASIX CERT. No.	1789625S
DATE	08/04/25
SCALE	As indicated
DRAWN	J.A.J

JOB No.

08/03/25

05/06/24

Date

B Council Issue

A Concept Plan

Amendment

Rev

DRAWING No.

039-MCD

Site Area				
Name	Area	Percentage Of Area Used		
Site Remaining	540.04 m²	70.9%		
Built Area	221.32 m²	29.1%		

100.0%

761.36 m²

Wall Quantities Timber Stud Internal - Lined Both Sides					
Wall Assembly	Width	Area	Function	Structure Manufacuturer	Finish Manufacturer
Stud Timber 90mm	90 mm	308.85 m²	Interior	Hyne - T2 Green	Gyprock
24	-	308.85 m²			

Wall Quantities Brick - Lined One Side

Function

AREAS				
Garage	33.70 m²			
Lower Deck	45.92 m²			
Lower Floor Living	80.27 m ²			
Upper Floor Deck	93.98 m²			
Upper Floor Living	127.35 m²			
Grand total: 5	381.21 m²			

Grand total: 2

ROOF 211 m ²	
-------------------------	--

	Window Schedule				
No.	Height	Width	Description	Area	
01	2100	2050	Sliding Door	4.31 m ²	
02	1027	2410	Sliding Window	2.48 m ²	
03	1000	900	Louvre Window	0.90 m ²	
04	2100	1810	Sliding Door	3.80 m ²	
05	2100	3600	Sliding Door	7.56 m ²	
06	2100	2410	Sliding Door	5.06 m ²	
07	2100	4810	Sliding Door	10.10 m ²	
08	2100	5400	Stacking Door	11.34 m²	
09	2100	3600	Sliding Door	7.56 m ²	
10	1500	700	Fixed Window	1.05 m ²	
11	1500	700	Fixed Window	1.05 m ²	
12	1500	700	Louvre Window	1.05 m ²	
13	1500	900	Louvre Window	1.35 m ²	
14	600	2400	Sliding Window	1.44 m²	
15	2100	3100	Sliding Door	6.51 m ²	
16	1457	850	Double Hung Window	1.24 m ²	
17	2100	4400	Sliding Door	9.24 m ²	
18	2100	4400	Sliding Door	9.24 m ²	
19	600	2400	Fixed Window	1.44 m²	
20	1200	2170	Sliding Window	2.60 m ²	
21	1300	900	Louvre Window	1.17 m ²	
22	1800	900	Louvre Window	1.62 m ²	
23	1800	2100	Fixed Window	3.78 m ²	
24	1800	4400	Louvre Window	7.92 m²	
25	1800	1800	Fixed Window	3.24 m ²	

Grand total: 25	107.03
Grand total. 25	m²

Rev

Room	Schedule	Rasix

Wall Assembly

10mm

19

Stud Timber 90mm - Weatherboard 100

36.15 m²	
32.43 m²	
42.97 m²	
9.76 m²	
50.88 m²	
172.20 m²	
12.31 m²	Conditioned
25.41 m²	Conditioned
33.21 m²	Conditioned
15.57 m²	Conditioned
18.81 m²	Conditioned
13.80 m²	Conditioned
39.27 m²	Conditioned
6.48 m²	Conditioned
20.61 m ²	Conditioned
17.48 m²	Conditioned
202.95 m ²	
15.02 m²	Unconditioned
6.28 m²	Unconditioned
21.29 m ²	
396.45 m ²	
	32.43 m² 42.97 m² 9.76 m² 50.88 m² 172.20 m² 12.31 m² 25.41 m² 33.21 m² 15.57 m² 18.81 m² 13.80 m² 39.27 m² 6.48 m² 20.61 m² 17.48 m² 202.95 m² 15.02 m² 6.28 m² 21.29 m²

PROJECT DETAILS

Width

Area

215.09 m²

215.09 m² Exterior

NAME - 039-MCD-7A GEOFFREY ST

STREET ADDRESS - 7A GEOFFREY STREET, CROWDY HEAD, 2427 LGA - MID-COAST COUNCIL PLAN TYPE AND PLANNUMBER - DEPOSITED PLAN - DP1233169 LOT No. 121

Structure

Manufacuturer

Hyne - T2 Green

PROJECT TYPE - DWELLING HOUSE (DETACHED)

SITE AREA - 761m² ROOF AREA - 211m² CONDITIONED FLOOR AREA - 202m² UNCONDITIONED FLOOR AREA - 21m² TOTAL AREA OF GARDEN AND LAWN - 300m²

ASSESSOR DETAILS AND THERMAL LOADS

NATHERS ASSESSOR NUMBER - HERA10030

NATHERS CERTIFICATE NUMBER - 0011817053

CLIMATE ZONE - 15

AREA ADJUSTED COOLING LOAD - 25

AREA ADJUSTED HEATING LOAD - 25

PROJECT SCORE

WATER - 46 - TARGET - 40 THERMAL PERFORMACE - PASS

ENERGY - 100 - TARGET - 70

MATERIALS - -22 TARGET N/A

THERMAL COMFORT DETAILS

CONSTRUCTION OF EXTERNAL WALLS - CAVITY BRICK

CONSTRUCTION OF FLOOR - CONCRETE SLAB

FLAT CEILING AND PITCHED ROOF INSULATION - R4.5 ADDITIONAL INSULATION REQUIRED

Room Schedule

ALFRESCO	42.97 m²
BATH	6.28 m²
BED 1	25.41 m²
BED 2	13.80 m²
BED 3	20.61 m ²
DECK	50.88 m²
DINING	15.57 m²
ENS	6.48 m²
GARAGE	32.43 m²
KITCHEN	33.21 m²
L'DRY	15.02 m²
LIVING	18.81 m²
LOFT	12.31 m²
PORCH	9.76 m²
RUMPUS	39.27 m²
STORAGE	17.48 m²
VERANDAH	36.15 m²
Grand total: 17	396.45 m ²

Roof Quantities by Assembly

Roof Assembly	Description	Sloped Area	
Timber Framed Corrugated	Colorbond Roof -	512.78 m²	l
	20°		

Fascia, Ridge Capping, Valley and Gutter Schedule				
Description Manufacturer Length				

	12.220
	m
	12.220

60.551 m 60.551 m

m

WATER DETAILS

Finish

Manufacturer

James Hardie - PrimeLine

Weatherboard

TOTAL AREA OF GARDEN AND LAWN - 300m2 TOTAL AREA OF INDIGENOUS OR LOW WATER SPECIES -

WATER RATINGS

SHOWER HEAD - 4 STAR TOILET - 4 STAR KITCHEN TAPS - 4 STAR BATHROOM TAPS - 4 STAR

ALTERNATIVE WATER

RAINWATER TANK SIZE - 5000L ROOF AREA REQUIREMENT - 211m²

WINDOW DETAILS

SEE THERMAL ASSESSMENT

ENERGY DETAILS

HOT WATER SYSTEM - ELECTRIC STORAGE

COOLING SYSTEM - 5 STAR MINIMUM DUCTED THROUGHOUT

HEATING SYSTEM - 5 STAR MINIMUM DUCTED THROUGHOUT

VENTILATION - R/H AND BATHROOM DUCTED TO EAVE

LIGHTING - LED THROUGHOUT

ALTERNATIVE ENERGY - MIN 5KW SOLAR SYSTEM

COOKTOP/OVEN - ELEC COOKTOP/ ELEC OVEN

WELL VENTILATED REFRIGERATOR - NO

OUTDOOR CLOTHESLINE - YES

THESLINE - NO

ROOF VENTILATION - UNVENTILATED		INDOOR CLOT
ROOF COLOUR - LIGHT		
ROOF INSULATION - FOIL/SARKING		
EXTERNAL WALL INSULATION - CAVITY BRICK - R.O.5 ADDITIONAL INSULATION REQUIRED		
	l .	

B Council Issue 08/03/25 A Concept Plan 05/06/24 Rev Amendment Date				
	В	Council Issue	08/03/25	
Rev Amendment Date	Α	Concept Plan	05/06/24	
	Rev	Amendment	Date	



PROPOSED NEW RESIDENCE

FOR R & K FINLAY-JONES AT LOT 121, DP1233169 No.7A GEOFFREY **STREET** CROWDY HEAD, NSW, 2427

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AND THE BUILDING CODE OF

AUSTRALIA UNLESS OTHERWISE SPECIFIED.

CERT. No.	1789625S
TITLE	BASIX DETAILS

PLAN CUSTOM DWELLING

DATE 08/04/25 **SCALE** DRAWN J.A.J DRAWING No. JOB No.

039-MCD 10

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method		No.	17
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	~	~	~
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	~	~	~

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		V	~
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		V	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	V	~
The applicant must configure the rainwater tank to collect rain runoff from at least 211 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	-
The applicant must connect the rainwater tank to:			
all toilets in the development		~	-
the cold water tap that supplies each clothes washer in the development		~	~
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		~	



PROPOSED NEW RESIDENCE

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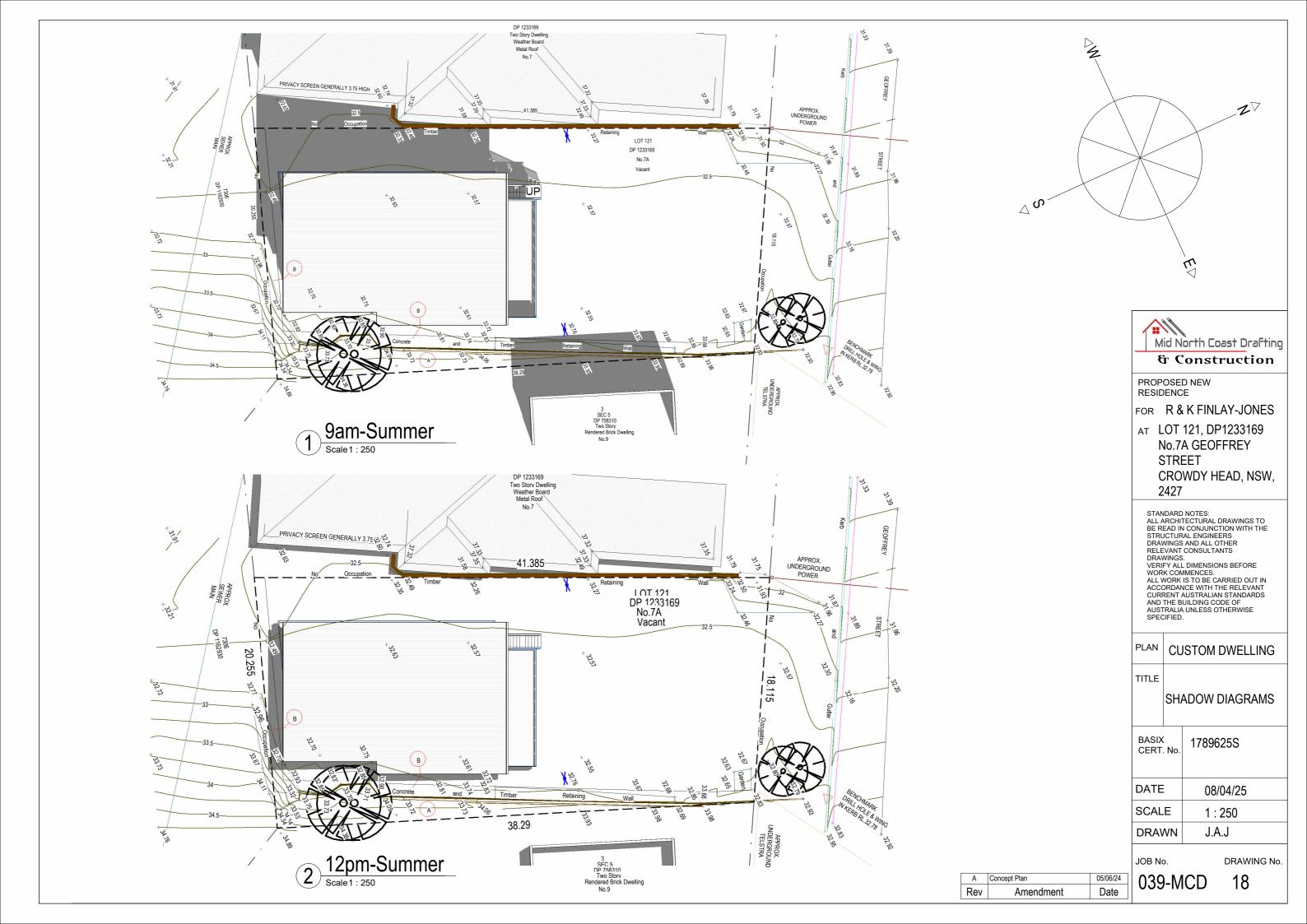
BASIX CERT. No.	1789625S BASIX DETAILS	DATE	08/04/25
		SCALE	
		DRAWN	J.A.J
		JOB No.	DRAWING No.

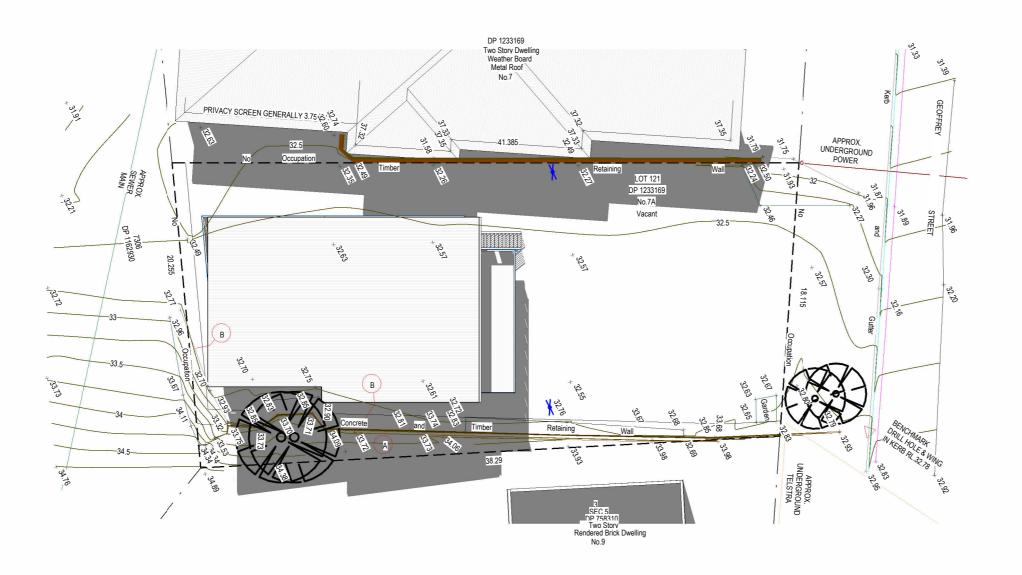
039-MCD 11 PLAN CUSTOM DWELLING

Rev Amendment

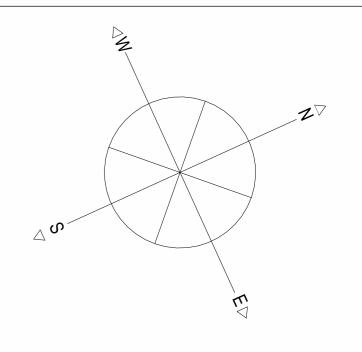
Date

2427











PROPOSED NEW RESIDENCE

FOR R & K FINLAY-JONES

AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427

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PLAN CUSTOM DWELLING

TITLE SHADOW DIAGRAMS

 BASIX CERT. No.
 1789625S

 DATE
 08/04/25

 SCALE
 1 : 250

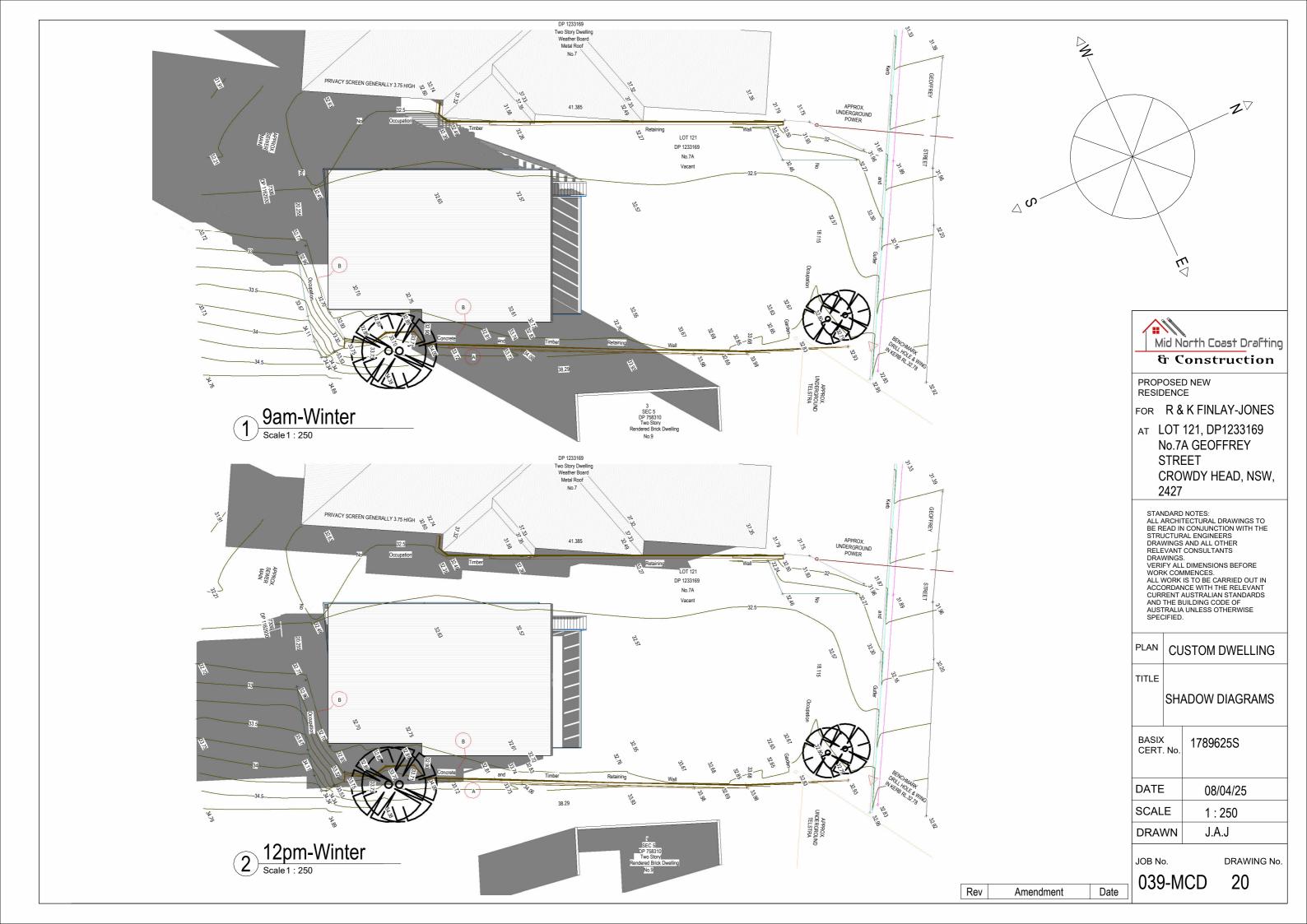
 DRAWN
 J.A.J

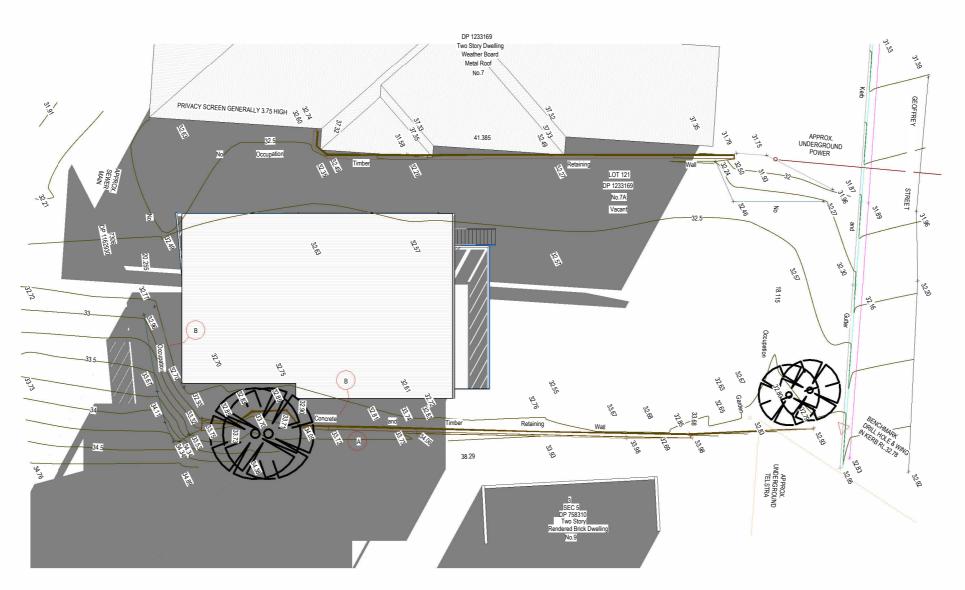
JOB No.

DRAWING No.

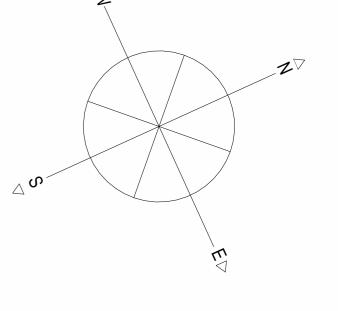
039-MCD 19

I	Α	Concept Plan	05/06/24	(
	Rev	Amendment	Date	١,





3pm-Winter
Scale 1: 250



Mid North Coast Drafting & Construction

PROPOSED NEW

PROPOSED NE RESIDENCE

FOR R&KFINLAY-JONES

AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427

STANDARD NOTES:
ALL ARCHITECTURAL DRAWINGS TO
BE READ IN CONJUNCTION WITH THE
STRUCTURAL ENGINEERS
DRAWINGS AND ALL OTHER
RELEVANT CONSULTANTS
DRAWINGS.
VERIFY ALL DIMENSIONS BEFORE
WORK COMMENCES.
ALL WORK IS TO BE CARRIED OUT IN
ACCORDANCE WITH THE RELEVANT
CURRENT AUSTRALIAN STANDARDS
AND THE BUILDING CODE OF
AUSTRALIA UNLESS OTHERWISE
SPECIFIED.

PLAN CUSTOM DWELLING
TITLE

SHADOW DIAGRAMS

 BASIX CERT. No.
 1789625S

 DATE
 08/04/25

 SCALE
 1 : 250

 DRAWN
 J.A.J

JOB No.

DRAWING No.

039-MCD 2⁻

Rev Amendment Date