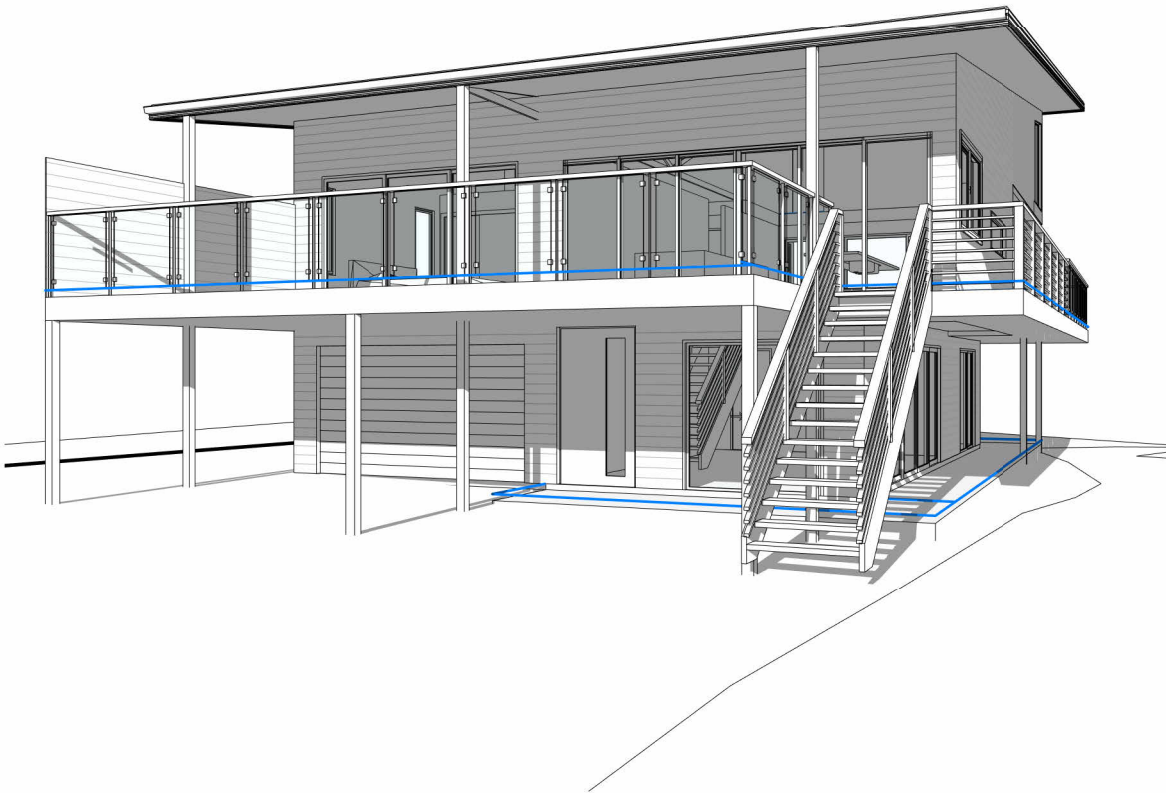


DEVELOPMENT APPLICATION AND CONSTRUCTION CERTIFICATE

PROPOSED DWELLING, FOR:

R & K FINLAY-JONES

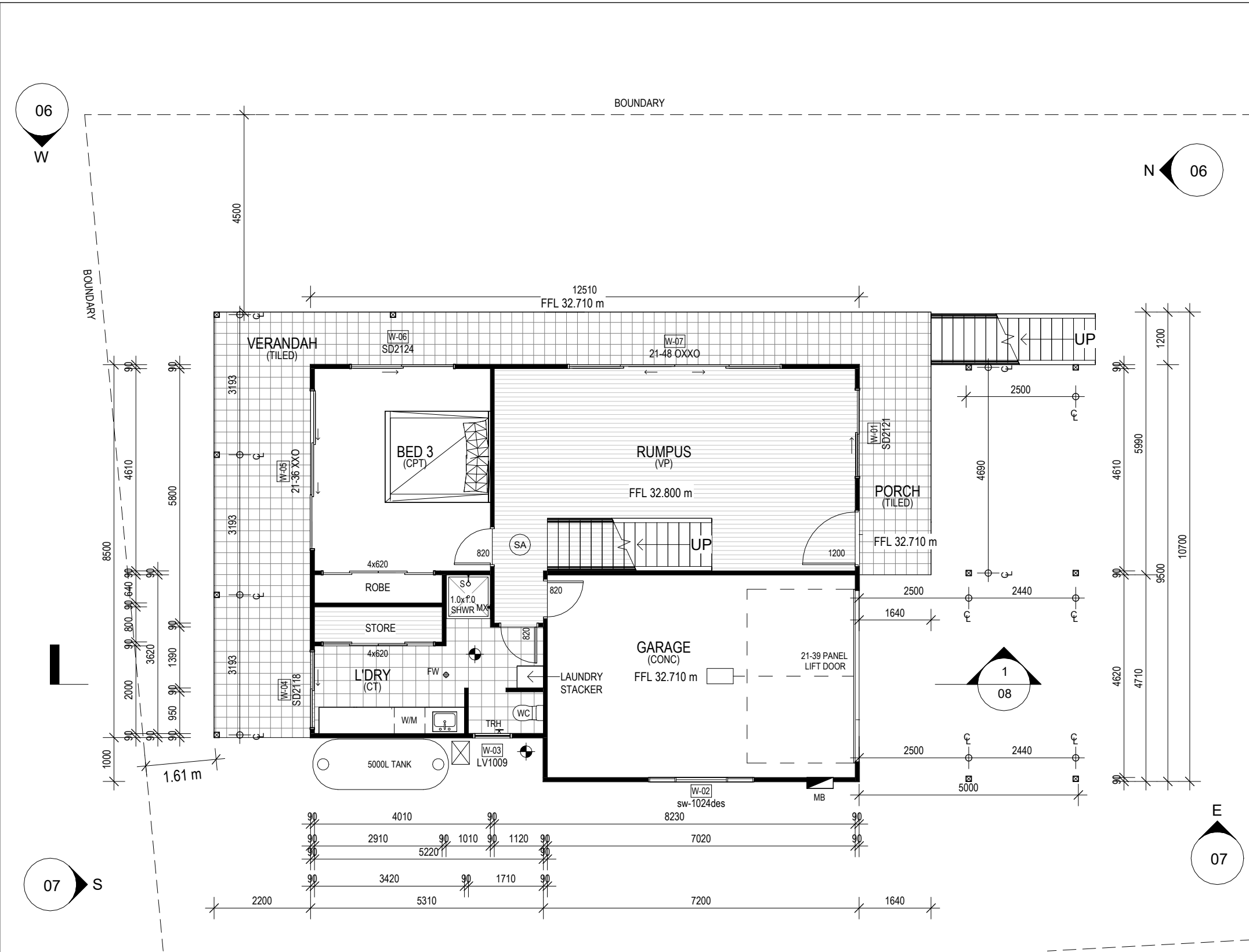
LOT 121, DP1233169
No.7A GEOFFREY STREET
CROWDY HEAD, NSW, 2427



Sheet List	
Sheet Number	Sheet Name
00	COVER SHEET
01	SPECIFICATIONS
02	SITE PLAN
03	GROUND FLOOR PLAN
04	UPPER FLOOR PLAN
05	LOFT FLOOR PLAN
06	ELEVATIONS
07	ELEVATIONS
08	SECTION
09	DETAIL SECTIONS
10	BASIX DETAILS
11	BASIX DETAILS
12	PERSPECTIVES
18	SHADOW DIAGRAMS
19	SHADOW DIAGRAMS
20	SHADOW DIAGRAMS
21	SHADOW DIAGRAMS

Revision Schedule		
Rev	Amendment	Date
A	Concept Plan	05/06/24
B	Council Issue	08/03/25





1 Ground Floor Plan
Scale 1 : 100

Room Schedule	
ALFRESCO	42.97 m ²
BATH	6.28 m ²
BED 1	25.41 m ²
BED 2	13.80 m ²
BED 3	20.61 m ²
DECK	50.88 m ²
DINING	15.57 m ²
ENS	6.48 m ²
GARAGE	32.43 m ²
KITCHEN	33.21 m ²
L'DRY	15.02 m ²
LIVING	18.81 m ²
LOFT	12.31 m ²
PORCH	9.76 m ²
RUMPUS	39.27 m ²
STORAGE	17.48 m ²
VERANDAH	36.15 m ²
Grand total: 17 396.45 m ²	

AREAS	
Garage	33.70 m ²
Lower Deck	45.92 m ²
Lower Floor Living	80.27 m ²
Upper Floor Deck	93.98 m ²
Upper Floor Living	127.35 m ²
Grand total: 5 381.21 m ²	
ROOF	211 m ²

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
C/T	COOK TOP
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DTR / TR	TOWEL RAIL (DOUBLE) / (SINGLE)
HK	ROBE HOOK @ 1750
FT	BAMBOO FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HWD	HARDWOOD DECKING
HWS	SOLAR HOT WATER SYSTEM (GAS BOOST)
MB	RECESSED ELECTRICAL METER BOX
RAIL	700mm SHOWER RAIL
MX	MIXER
O/H	OVERHEAD CUPBOARDS
720 PL	DOOR WITH PRIVACY LOCK
R/H	RANGEHOOD (DUCTED)
S/D	SETDOWN
FW	FLOOR WASTE
ST	SERVICES STACK
S	SPOUT
T	TAP
RT	TOWEL RING @ 1100
Tms	TRANSLUCENT GLASS
TRH	TOILET ROLL HOLDER
WM	WASHING MACHINE
WC	TOILET
NOTE: DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 350mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE.	

Window Schedule				
No.	Height	Width	Description	Area
01	2100	2050	Sliding Door	4.31 m ²
02	1027	2410	Sliding Window	2.48 m ²
03	1000	900	Louvre Window	0.90 m ²
04	2100	1810	Sliding Door	3.80 m ²
05	2100	3600	Sliding Door	7.56 m ²
06	2100	2410	Sliding Door	5.06 m ²
07	2100	4810	Sliding Door	10.10 m ²
08	2100	5400	Stacking Door	11.34 m ²
09	2100	3600	Sliding Door	7.56 m ²
10	1500	700	Fixed Window	1.05 m ²
11	1500	700	Fixed Window	1.05 m ²
12	1500	700	Louvre Window	1.05 m ²
13	1500	900	Louvre Window	1.35 m ²
14	600	2400	Sliding Window	1.44 m ²
15	2100	3100	Sliding Door	6.51 m ²
16	1457	850	Double Hung Window	1.24 m ²
17	2100	4400	Sliding Door	9.24 m ²
18	2100	4400	Sliding Door	9.24 m ²
19	600	2400	Fixed Window	1.44 m ²
20	1200	2170	Sliding Window	2.60 m ²
21	1300	900	Louvre Window	1.17 m ²
22	1800	900	Louvre Window	1.62 m ²
23	1800	2100	Fixed Window	3.78 m ²
24	1800	4400	Louvre Window	7.92 m ²
25	1800	1800	Fixed Window	3.24 m ²
Grand total: 25				107.05 m ²

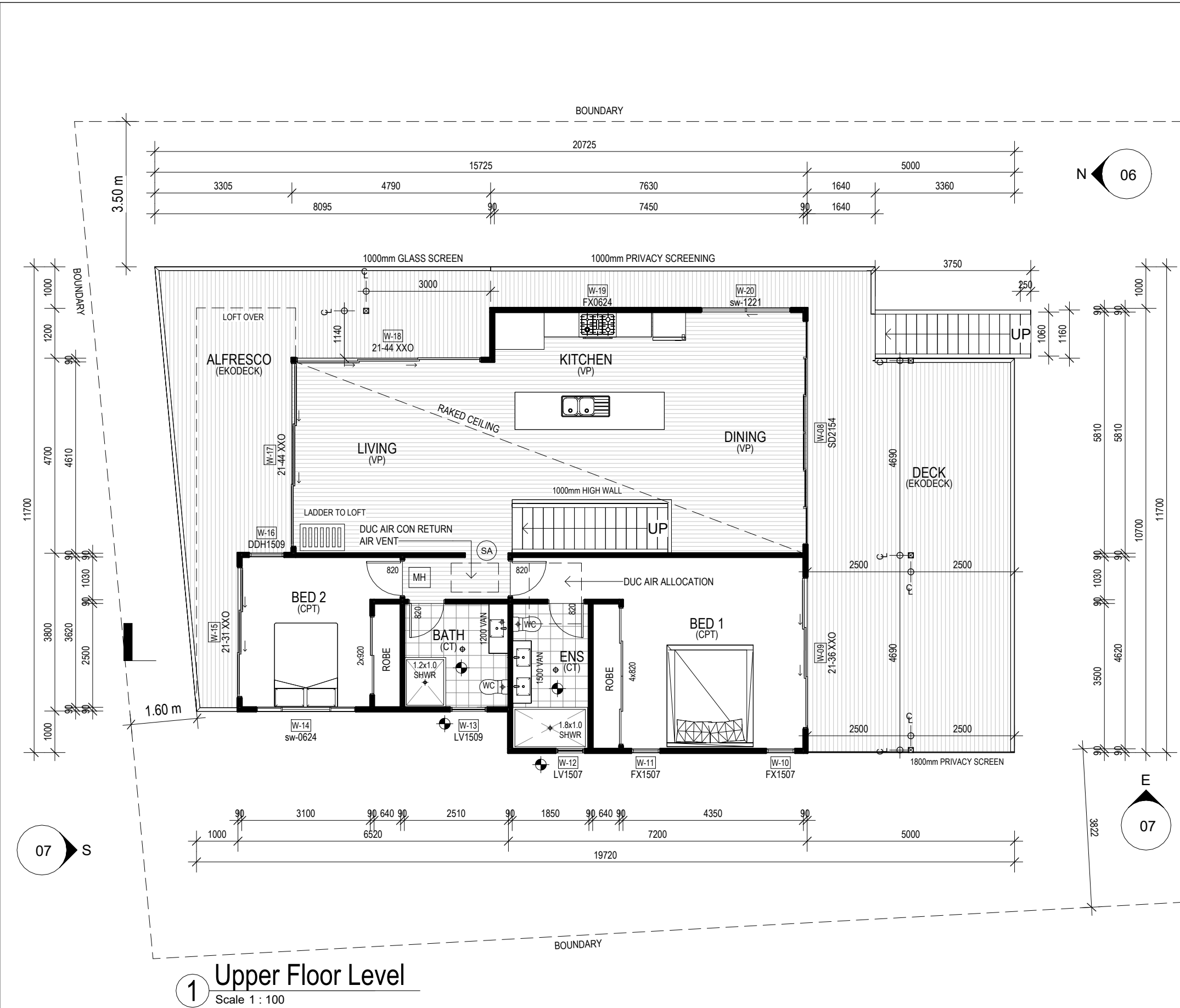
B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date



PROPOSED NEW
RESIDENCE
FOR R & K FINLAY-JONES
AT LOT 121, DP1233169
No.7A GEOFFREY
STREET
CROWDY HEAD, NSW,
2427

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AND THE BUILDING CODE OF
AUSTRALIA UNLESS OTHERWISE
SPECIFIED.

BASIX CERT. No.	1789625S	DATE	08/04/25
		SCALE	1 : 100
TITLE	GROUND FLOOR PLAN	DRAWN	J.A.J
		JOB No.	DRAWING No.
PLAN	CUSTOM DWELLING	039-MCD 03	



Room Schedule	
ALFRESCO	42.97 m ²
BATH	6.28 m ²
BED 1	25.41 m ²
BED 2	13.80 m ²
BED 3	20.61 m ²
DECK	50.88 m ²
DINING	15.57 m ²
ENS	6.48 m ²
GARAGE	32.43 m ²
KITCHEN	33.21 m ²
L'DRY	15.02 m ²
LIVING	18.81 m ²
LOFT	12.31 m ²
PORCH	9.76 m ²
RUMPUS	39.27 m ²
STORAGE	17.48 m ²
VERANDAH	36.15 m ²
Grand total: 17	396.45 m ²

AREAS	
Garage	33.70 m ²
Lower Deck	45.92 m ²
Lower Floor Living	80.27 m ²
Upper Floor Deck	93.98 m ²
Upper Floor Living	127.35 m ²
Grand total: 5	381.21 m ²
ROOF	211 m ²

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
C/T	COOK TOP
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DTR / TR	TOWEL RAIL (DOUBLE) / (SINGLE)
HK	ROBE HOOK @ 1750
FT	BAMBOO FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HWD	HARDWOOD DECKING
HWS	SOLAR HOT WATER SYSTEM (GAS BOOST)
MB	RECESSED ELECTRICAL METER BOX
RAIL	700mm SHOWER RAIL
MX	MIXER
O/H	OVERHEAD CUPBOARDS
720 PL	DOOR WITH PRIVACY LOCK
R/H	RANGEHOOD (DUCTED)
S/D	SETDOWN
FW	FLOOR WASTE
ST	SERVICES STACK
S	SPOUT
T	TAP
RT	TOWEL RING @ 1100
Tms	TRANSLUCENT GLASS
TRH	TOILET ROLL HOLDER
WM	WASHING MACHINE
WC	TOILET
	CEILING FAN LIGHT COMBO
	CEILING FAN
NOTE: DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 350mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE.	

Window Schedule				
No.	Height	Width	Description	Area
01	2100	2050	Sliding Door	4.31 m ²
02	1027	2410	Sliding Window	2.48 m ²
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17	2100	4400	Sliding Door	9.24 m ²
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19	600	2400	Fixed Window	1.44 m ²
20	1200	2170	Sliding Window	2.60 m ²
21	1300	900	Louvre Window	1.17 m ²
22	1800	900	Louvre Window	1.62 m ²
23	1800	2100	Fixed Window	3.78 m ²
24	1800	4400	Louvre Window	7.92 m ²
25	1800	1800	Fixed Window	3.24 m ²
Grand total: 25				107.05 m ²

1 Upper Floor Level
Scale 1 : 100

B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date



PROPOSED NEW RESIDENCE
FOR R & K FINLAY-JONES
AT LOT 121, DP1233169
No.7A GEOFFREY STREET
CROWDY HEAD, NSW, 2427

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BASIX CERT. No. 1789625S

TITLE UPPER FLOOR PLAN

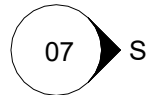
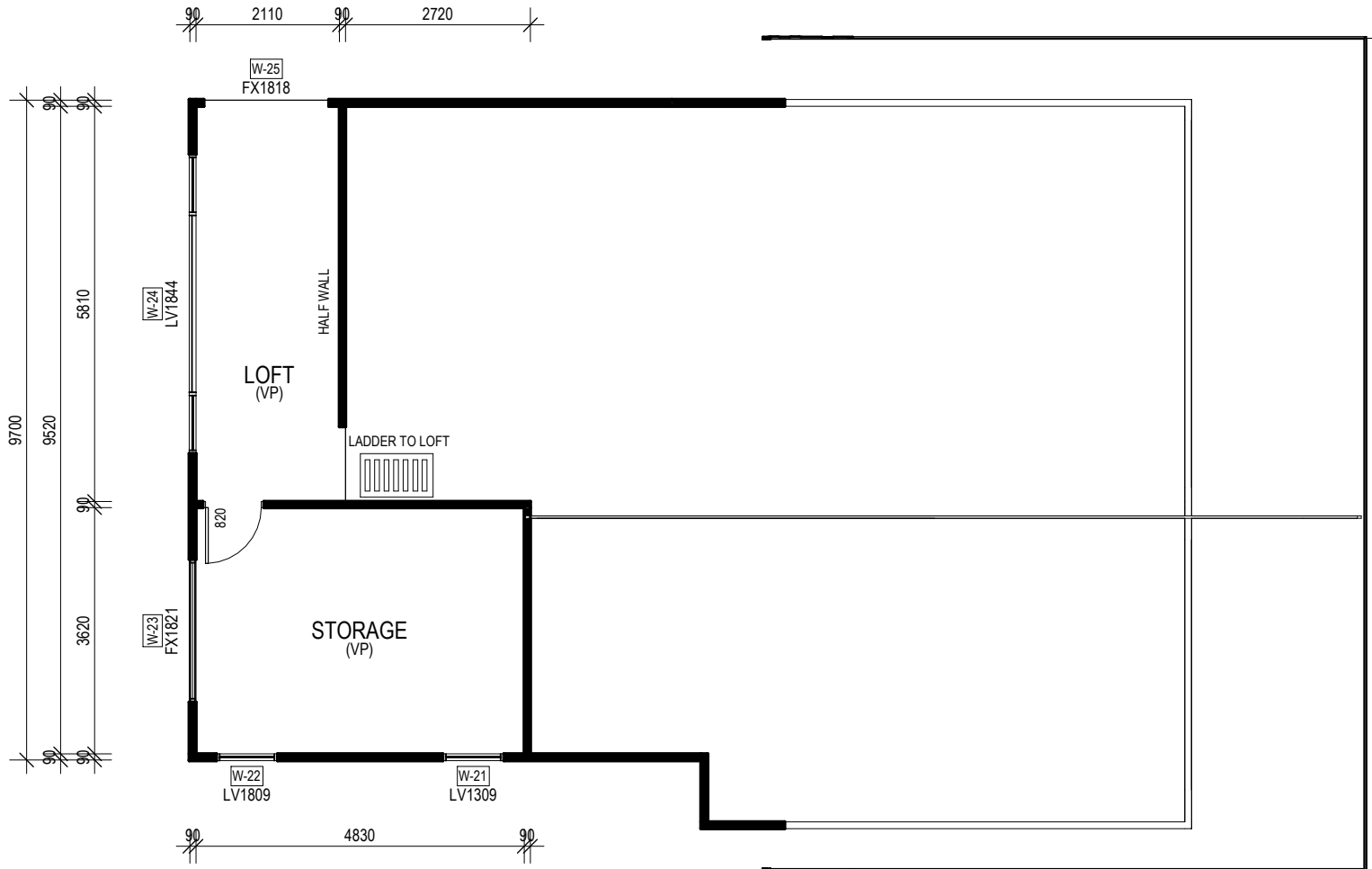
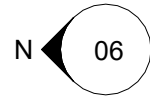
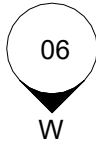
PLAN CUSTOM DWELLING

DATE 08/04/25

SCALE 1 : 100

DRAWN J.A.J

JOB No. DRAWING No.
039-MCD 04



1 Loft Floor Level
Scale 1 : 100

Room Schedule	
ALFRESCO	42.97 m ²
BATH	6.28 m ²
BED 1	25.41 m ²
BED 2	13.80 m ²
BED 3	20.61 m ²
DECK	50.88 m ²
DINING	15.57 m ²
ENS	6.48 m ²
GARAGE	32.43 m ²
KITCHEN	33.21 m ²
L'DRY	15.02 m ²
LIVING	18.81 m ²
LOFT	12.31 m ²
PORCH	9.76 m ²
RUMPUS	39.27 m ²
STORAGE	17.48 m ²
VERANDAH	36.15 m ²
Grand total: 17	396.45 m ²

AREAS	
Garage	33.70 m ²
Lower Deck	45.92 m ²
Lower Floor Living	80.27 m ²
Upper Floor Deck	93.98 m ²
Upper Floor Living	127.35 m ²
Grand total: 5	381.21 m ²

ROOF	211 m ²
------	--------------------

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
C/T	COOK TOP
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DTR / TR	TOWEL RAIL (DOUBLE) / (SINGLE)
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MB	RECESSED ELECTRICAL METER BOX
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O/H	OVERHEAD CUPBOARDS
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R/H	RANGEHOOD (DUCTED)
S/D	SETDOWN
FW	FLOOR WASTE
ST	SERVICES STACK
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WM	WASHING MACHINE
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	CEILING FAN LIGHT COMBO
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Window Schedule				
No.	Height	Width	Description	Area
01	2100	2050	Sliding Door	4.31 m ²
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07	2100	4810	Sliding Door	10.10 m ²
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10	1500	700	Fixed Window	1.05 m ²
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12	1500	700	Louvre Window	1.05 m ²
13	1500	900	Louvre Window	1.35 m ²
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22	1800	900	Louvre Window	1.62 m ²
23	1800	2100	Fixed Window	3.78 m ²
24	1800	4400	Louvre Window	7.92 m ²
25	1800	1800	Fixed Window	3.24 m ²
Grand total: 25				107.05 m ²

B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date



PROPOSED NEW RESIDENCE
FOR R & K FINLAY-JONES
AT LOT 121, DP1233169
No.7A GEOFFREY STREET
CROWDY HEAD, NSW, 2427

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BASIX CERT. No. 1789625S

TITLE LOFT FLOOR PLAN

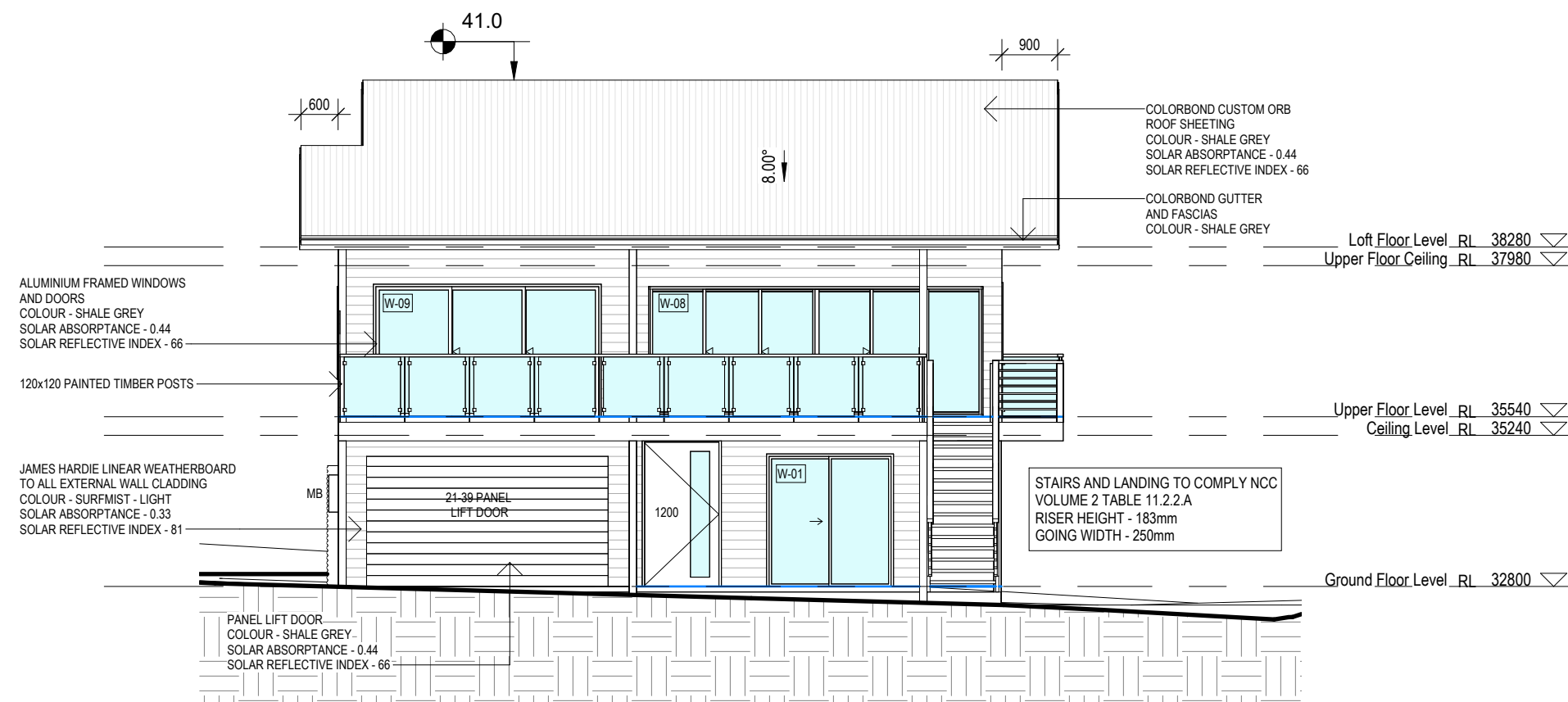
PLAN CUSTOM DWELLING

DATE 08/04/25

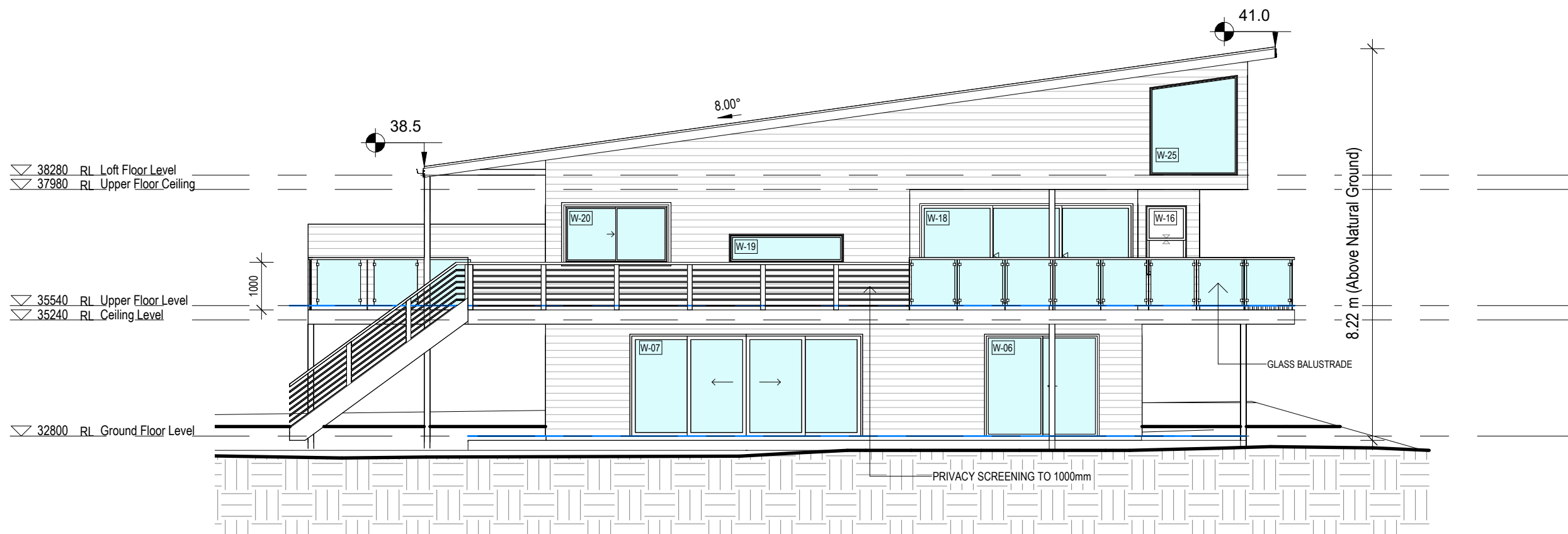
SCALE 1 : 100

DRAWN J.A.J

JOB No. DRAWING No.
039-MCD 05




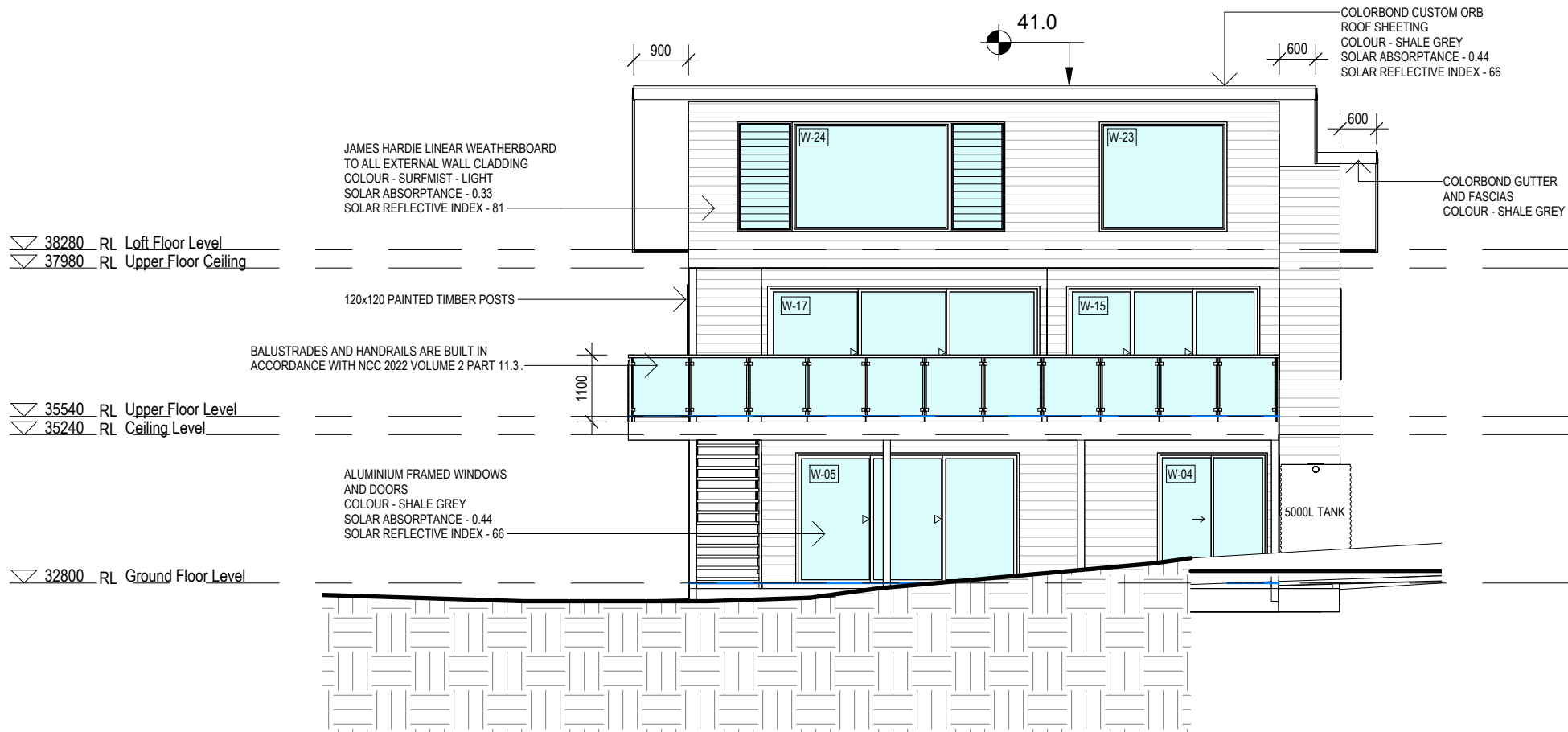
N Northern Elevation
Scale 1 : 100



W Western Elevation
Scale 1 : 100

B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date

	
PROPOSED NEW RESIDENCE	
FOR R & K FINLAY-JONES	
AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427	
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PLAN	CUSTOM DWELLING
TITLE	ELEVATIONS
BASIX CERT. No.	1789625S
DATE	08/04/25
SCALE	1 : 100
DRAWN	J.A.J
JOB No.	DRAWING No.
039-MCD	06



S Southern Elevation
Scale 1 : 100



E Eastern Elevation
Scale 1 : 100



PROPOSED NEW
RESIDENCE
FOR R & K FINLAY-JONES
AT LOT 121, DP1233169
No.7A GEOFFREY
STREET
CROWDY HEAD, NSW,
2427

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PLAN CUSTOM DWELLING

TITLE ELEVATIONS

BASIX
CERT. No. 1789625S

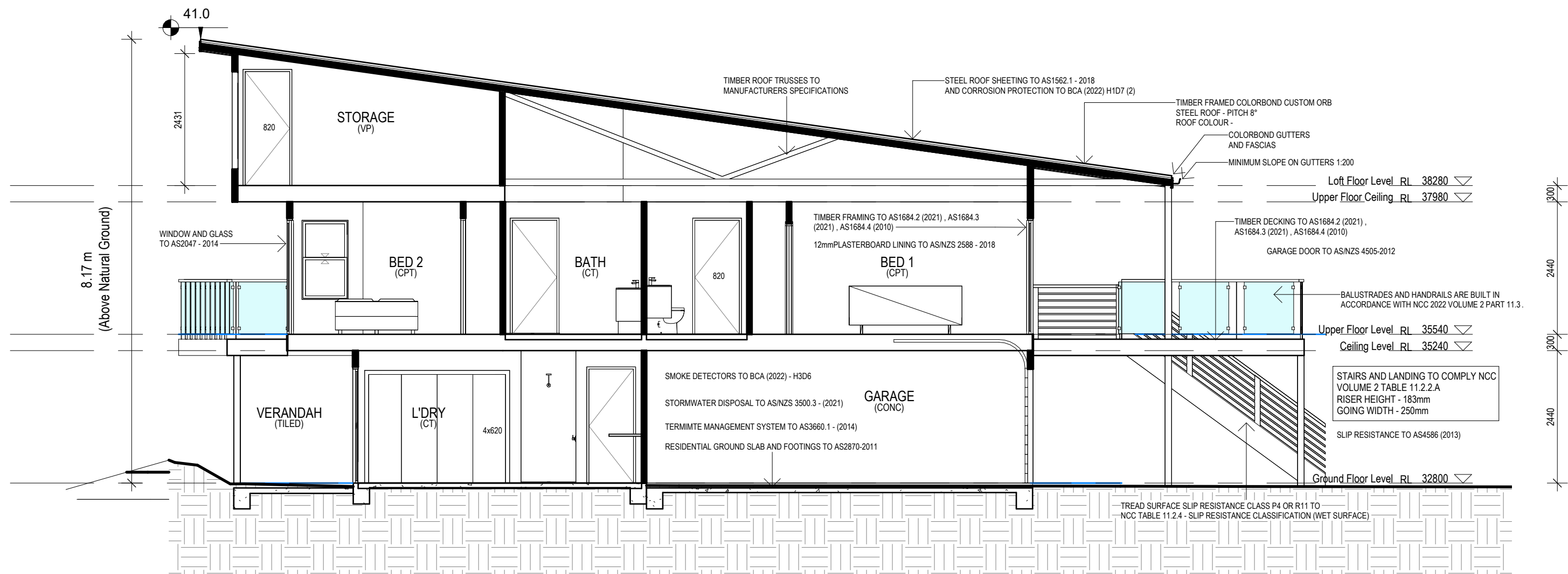
DATE 08/04/25

SCALE 1 : 100

DRAWN J.A.J

JOB No. DRAWING No.
039-MCD 07

B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date



B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date



PROPOSED SECONDARY DWELLING

FOR R & K FINLAY-JONES

AT LOT 121, DP1233169
No.7A GEOFFREY STREET
CROWDY HEAD, NSW, 2427

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BASIX
CERT. No. 1789625S

TITLE
SECTION

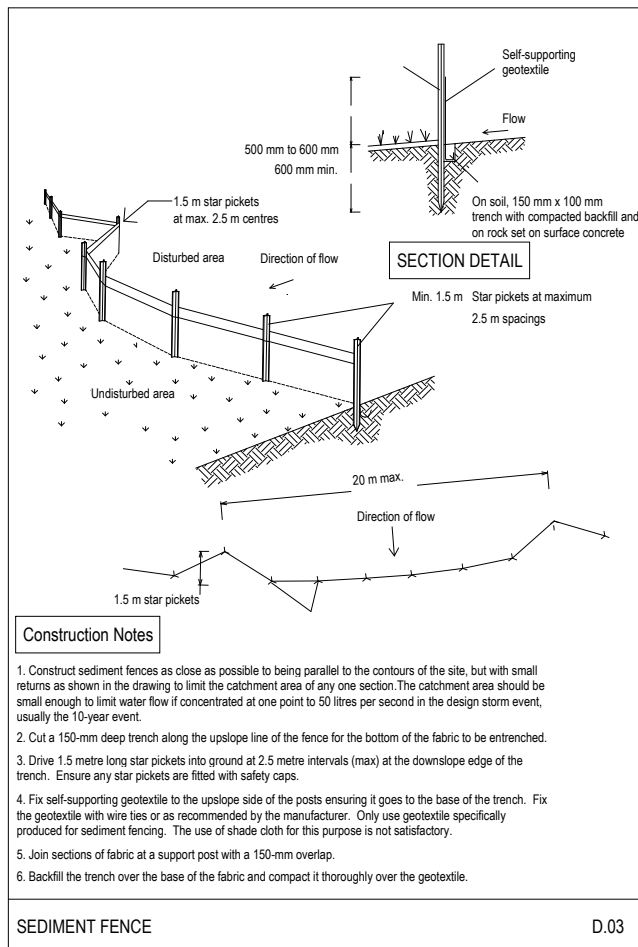
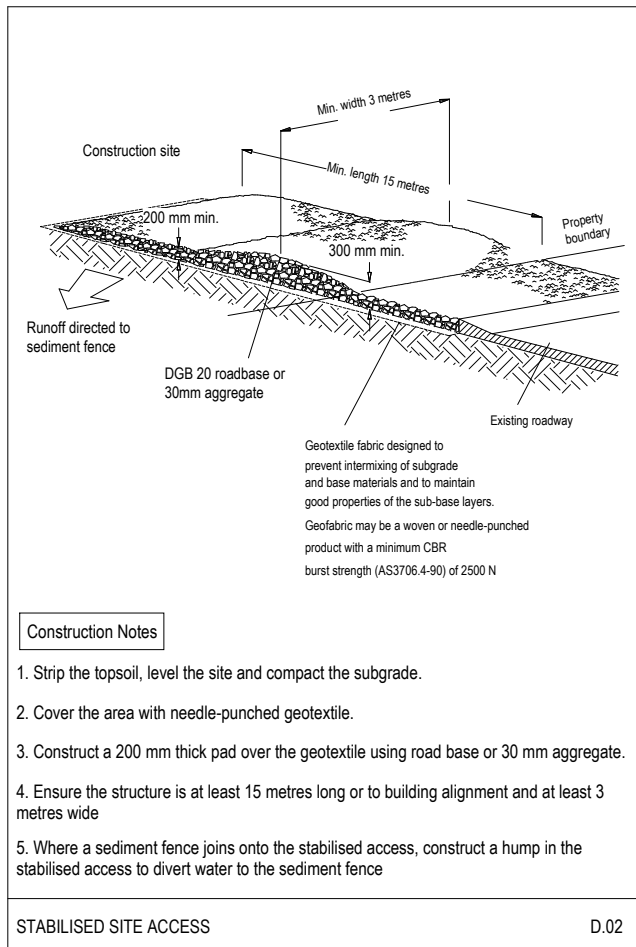
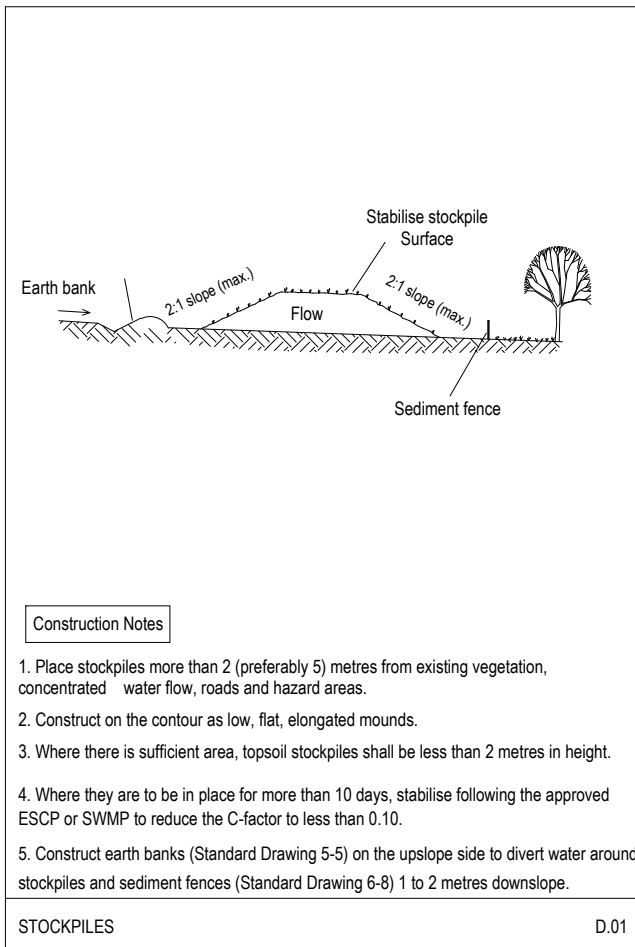
PLAN CUSTOM DWELLING

DATE 08/04/25

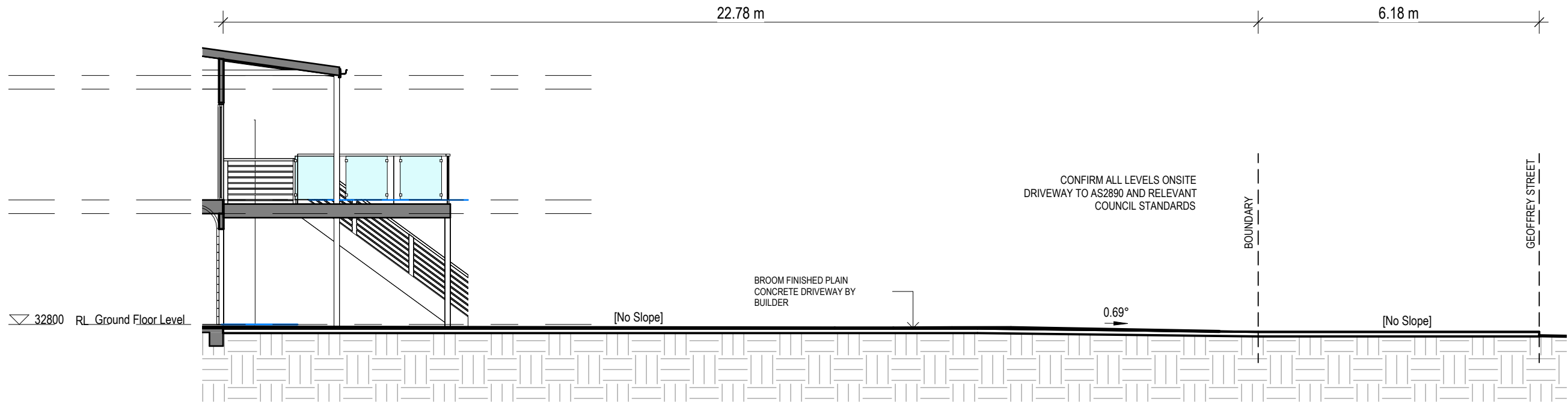
SCALE 1 : 75

DRAWN J.A.J

JOB No. DRAWING No.
039-MCD 08



Sediment Erosion Control



Mid North Coast Drafting & Construction

PROPOSED NEW RESIDENCE

FOR R & K FINLAY-JONES

AT LOT 121, DP1233169

No.7A GEOFFREY STREET

CROWDY HEAD, NSW, 2427

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PLAN	CUSTOM DWELLING
TITLE	DETAIL SECTIONS
BASIX CERT. No.	1789625S
DATE	08/04/25
SCALE	As indicated
DRAWN	J.A.J
JOB No.	DRAWING No.
039-MCD	09

B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date

Site Area		
Name	Area	Percentage Of Area Used

Site Remaining	540.04 m²	70.9%
Built Area	221.32 m²	29.1%
Grand total: 2	761.36 m²	100.0%

AREAS	
Garage	33.70 m²
Lower Deck	45.92 m²
Lower Floor Living	80.27 m²
Upper Floor Deck	93.98 m²
Upper Floor Living	127.35 m²
Grand total: 5	381.21 m²

ROOF	211 m²
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Window Schedule				
No.	Height	Width	Description	Area
01	2100	2050	Sliding Door	4.31 m²
02	1027	2410	Sliding Window	2.48 m²
03	1000	900	Louvre Window	0.90 m²
04	2100	1810	Sliding Door	3.80 m²
05	2100	3600	Sliding Door	7.56 m²
06	2100	2410	Sliding Door	5.06 m²
07	2100	4810	Sliding Door	10.10 m²
08	2100	5400	Stacking Door	11.34 m²
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10	1500	700	Fixed Window	1.05 m²
11	1500	700	Fixed Window	1.05 m²
12	1500	700	Louvre Window	1.05 m²
13	1500	900	Louvre Window	1.35 m²
14	600	2400	Sliding Window	1.44 m²
15	2100	3100	Sliding Door	6.51 m²
16	1457	850	Double Hung Window	1.24 m²
17	2100	4400	Sliding Door	9.24 m²
18	2100	4400	Sliding Door	9.24 m²
19	600	2400	Fixed Window	1.44 m²
20	1200	2170	Sliding Window	2.60 m²
21	1300	900	Louvre Window	1.17 m²
22	1800	900	Louvre Window	1.62 m²
23	1800	2100	Fixed Window	3.78 m²
24	1800	4400	Louvre Window	7.92 m²
25	1800	1800	Fixed Window	3.24 m²

Grand total: 25107.05 m²

Wall Quantities Timber Stud Internal - Lined Both Sides					
Wall Assembly	Width	Area	Function	Structure Manufacturer	Finish Manufacturer

Stud Timber 90mm 24	90 mm	308.85 m²	Interior	Hyne - T2 Green	Gyprock
---------------------	-------	-----------	----------	-----------------	---------

Wall Quantities Brick - Lined One Side					
Wall Assembly	Width	Area	Function	Structure Manufacturer	Finish Manufacturer

Stud Timber 90mm - Weatherboard 10mm 19	100	215.09 m²	Exterior	Hyne - T2 Green	James Hardie - PrimeLine Weatherboard
---	-----	-----------	----------	-----------------	---------------------------------------

215.09 m²

Room Schedule Basix		
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VERANDAH	36.15 m²	
GARAGE	32.43 m²	
ALFRESCO	42.97 m²	
PORCH	9.76 m²	
DECK	50.88 m²	
: 5	172.20 m²	
Conditioned		
LOFT	12.31 m²	Conditioned
BED 1	25.41 m²	Conditioned
KITCHEN	33.21 m²	Conditioned
DINING	15.57 m²	Conditioned
LIVING	18.81 m²	Conditioned
BED 2	13.80 m²	Conditioned
RUMPUS	39.27 m²	Conditioned
ENS	6.48 m²	Conditioned
BED 3	20.61 m²	Conditioned
STORAGE	17.48 m²	Conditioned
Conditioned: 10	202.95 m²	
Unconditioned		
L'DRY	15.02 m²	Unconditioned
BATH	6.28 m²	Unconditioned
Unconditioned: 2	21.29 m²	
Grand total: 17	396.45 m²	

PROJECT DETAILS
NAME - 039-MCD-7A GEOFFREY ST
STREET ADDRESS - 7A GEOFFREY STREET, CROWDY HEAD, 2427
LGA - MID-COAST COUNCIL
PLAN TYPE AND PLANNUMBER - DEPOSITED PLAN - DP1233169
LOT No. 121
PROJECT TYPE - DWELLING HOUSE (DETACHED)
SITE AREA - 761m²
ROOF AREA - 211m²
CONDITIONED FLOOR AREA - 202m²
UNCONDITIONED FLOOR AREA - 21m²
TOTAL AREA OF GARDEN AND LAWN - 300m²
ASSESSOR DETAILS AND THERMAL LOADS
NATHERS ASSESSOR NUMBER - HERA10030
NATHERS CERTIFICATE NUMBER - 0011817053
CLIMATE ZONE - 15
AREA ADJUSTED COOLING LOAD - 25
AREA ADJUSTED HEATING LOAD - 25
PROJECT SCORE
WATER - 46 - TARGET - 40
THERMAL PERFORMACE - PASS
ENERGY - 100 - TARGET - 70
MATERIALS - -22 TARGET N/A

THERMAL COMFORT DETAILS
CONSTRUCTION OF EXTERNAL WALLS - CAVITY BRICK
CONSTRUCTION OF FLOOR - CONCRETE SLAB
ROOF VENTILATION - UNVENTILATED
ROOF COLOUR - LIGHT
ROOF INSULATION - FOIL/SARKING
EXTERNAL WALL INSULATION - CAVITY BRICK - R.0.5 ADDITIONAL INSULATION REQUIRED
FLAT CEILING AND PITCHED ROOF INSULATION - R4.5 ADDITIONAL INSULATION REQUIRED

Room Schedule	
ALFRESCO	42.97 m²
BATH	6.28 m²
BED 1	25.41 m²
BED 2	13.80 m²
BED 3	20.61 m²
DECK	50.88 m²
DINING	15.57 m²
ENS	6.48 m²
GARAGE	32.43 m²
KITCHEN	33.21 m²
L'DRY	15.02 m²
LIVING	18.81 m²
LOFT	12.31 m²
PORCH	9.76 m²
RUMPUS	39.27 m²
STORAGE	17.48 m²
VERANDAH	36.15 m²
Grand total: 17	396.45 m²

WATER DETAILS
TOTAL AREA OF GARDEN AND LAWN - 300m²
TOTAL AREA OF INDIGENOUS OR LOW WATER SPECIES -
WATER RATINGS
SHOWER HEAD - 4 STAR
TOILET - 4 STAR
KITCHEN TAPS - 4 STAR
BATHROOM TAPS - 4 STAR
ALTERNATIVE WATER
RAINWATER TANK SIZE - 5000L
ROOF AREA REQUIREMENT - 211m²

WINDOW DETAILS
SEE THERMAL ASSESSMENT

ENERGY DETAILS
HOT WATER SYSTEM - ELECTRIC STORAGE
COOLING SYSTEM - 5 STAR MINIMUM DUCTED THROUGHOUT
HEATING SYSTEM - 5 STAR MINIMUM DUCTED THROUGHOUT
VENTILATION - R/H AND BATHROOM DUCTED TO EAVE
LIGHTING - LED THROUGHOUT
ALTERNATIVE ENERGY - MIN 5KW SOLAR SYSTEM
COOKTOP/OVEN - ELEC COOKTOP/ ELEC OVEN
WELL VENTILATED REFRIGERATOR - NO
OUTDOOR CLOTHESLINE - YES
INDOOR CLOTHESLINE - NO

Roof Quantities by Assembly		
Roof Assembly	Description	Sloped Area

Timber Framed Corrugated	Colorbond Roof - 20°	512.78 m²
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Fascia, Ridge Capping, Valley and Gutter Schedule		
Description	Manufacturer	Length

		60.551 m
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60.551 m

		12.220 m
--	--	----------

12.220 m

B	Council Issue	08/03/25
A	Concept Plan	05/06/24
Rev	Amendment	Date



PROPOSED NEW RESIDENCE
FOR R & K FINLAY-JONES
AT LOT 121, DP1233169
No.7A GEOFFREY STREET
CROWDY HEAD, NSW, 2427

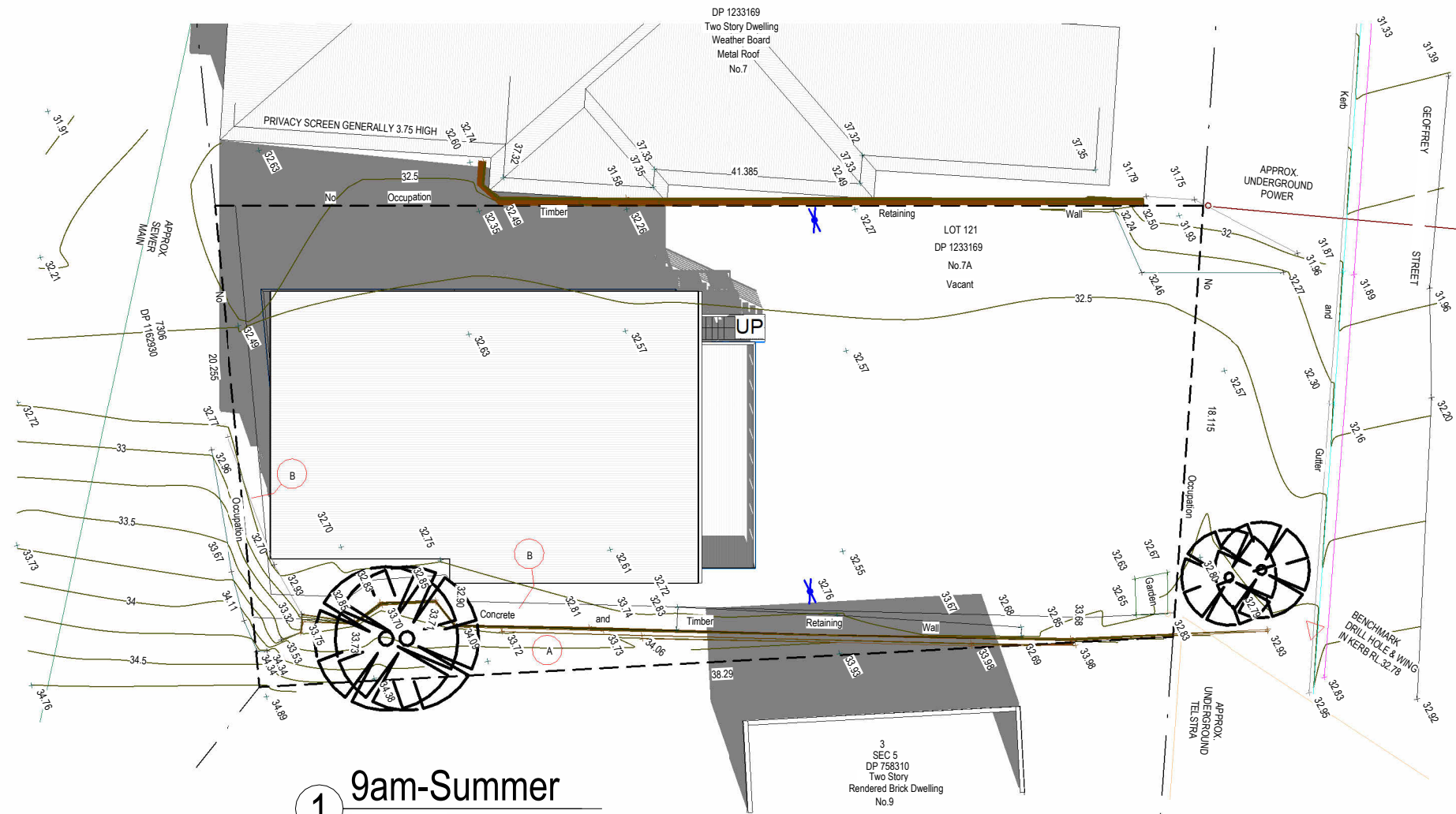
STANDARD NOTES:
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BASIX CERT. No. 1789625S	DATE	08/04/25
	SCALE	
	DRAWN	J.A.J
TITLE	BASIX DETAILS	
PLAN	CUSTOM DWELLING	
JOB No.		DRAWING No.
039-MCD		10

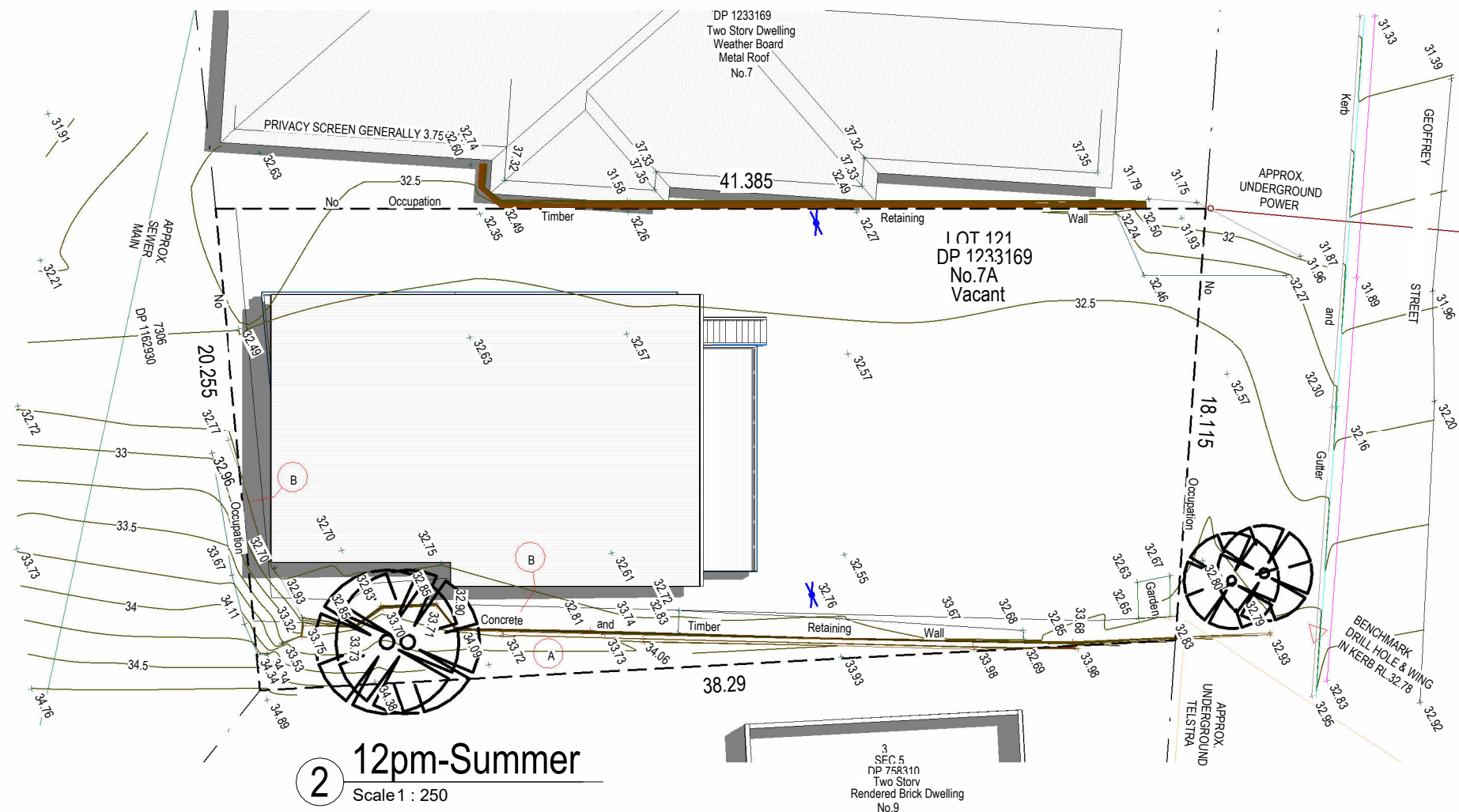
Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 211 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔ ✔ ✔	✔ ✔ ✔

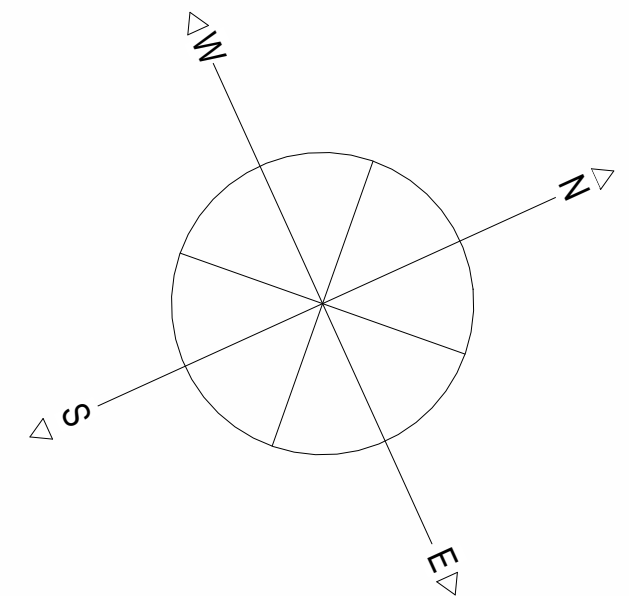
<div>RevAmendmentDate</div>		PROPOSED NEW RESIDENCE FOR R & K FINLAY-JONES AT LOT 121, DP1233169 No.7A GEOFFREY STREET CROWDY HEAD, NSW, 2427	STANDARD NOTES: ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS. VERIFY ALL DIMENSIONS BEFORE WORK COMMENCES. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED.	BASIX CERT. No. 1789625S	DATE08/04/25
					SCALE
				TITLEBASIX DETAILS	DRAWNJ.A.J
				PLANCUSTOM DWELLING	JOB No. DRAWING No. 039-MCD 11



1 9am-Summer
Scale 1 : 250



2 12pm-Summer
Scale 1 : 250



Mid North Coast Drafting
& Construction

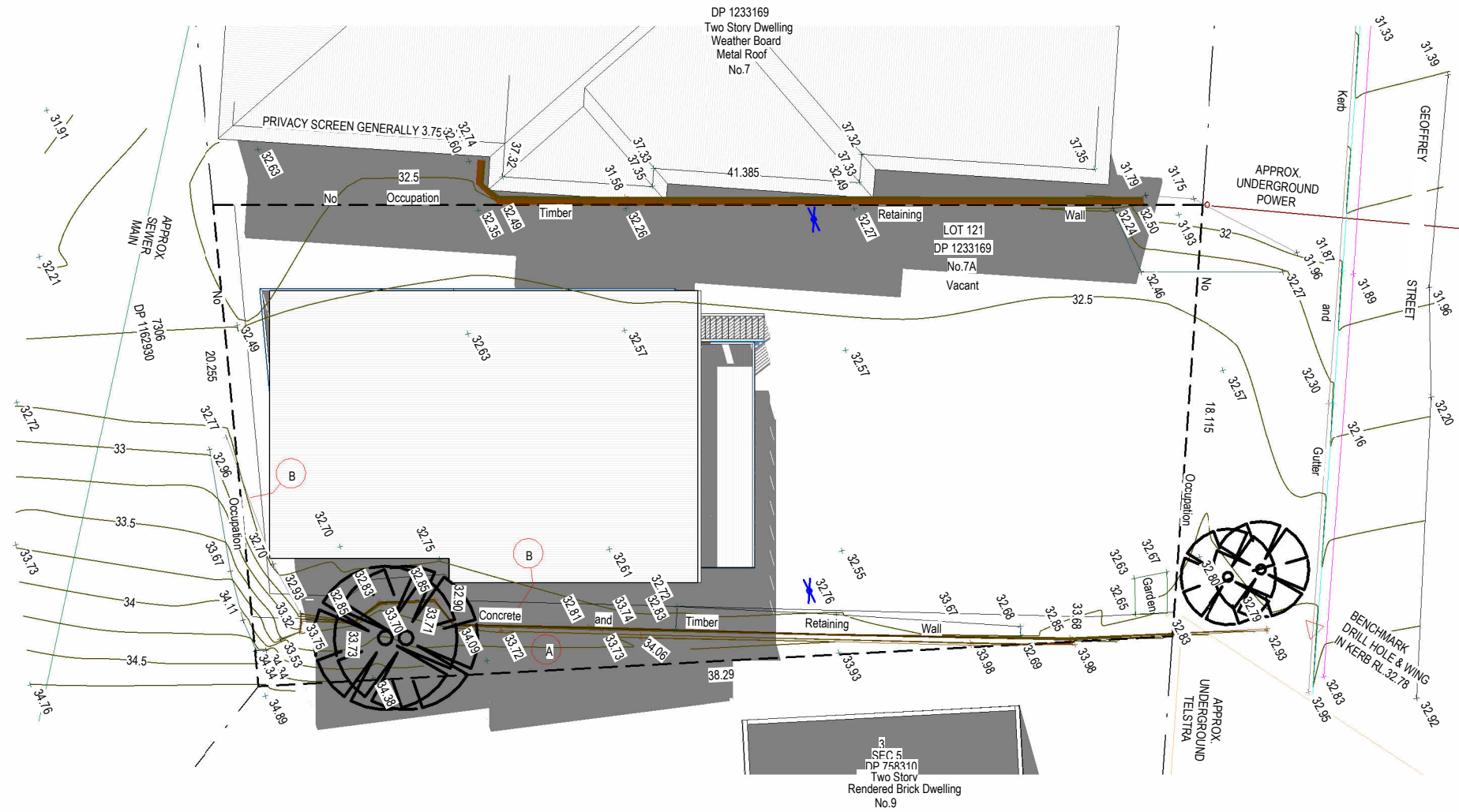
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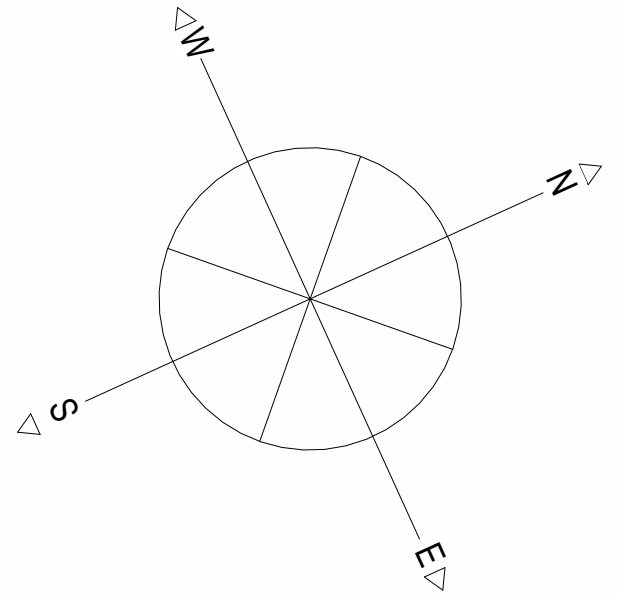
PLAN	CUSTOM DWELLING
TITLE	SHADOW DIAGRAMS
BASIX CERT. No.	1789625S
DATE	08/04/25
SCALE	1 : 250
DRAWN	J.A.J

JOB No. DRAWING No.
039-MCD 18

A	Concept Plan	05/06/24
Rev	Amendment	Date



1 3pm-Summer
Scale 1 : 250



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PLAN CUSTOM DWELLING

TITLE SHADOW DIAGRAMS

BASIX
CERT. No. 1789625S

DATE 08/04/25

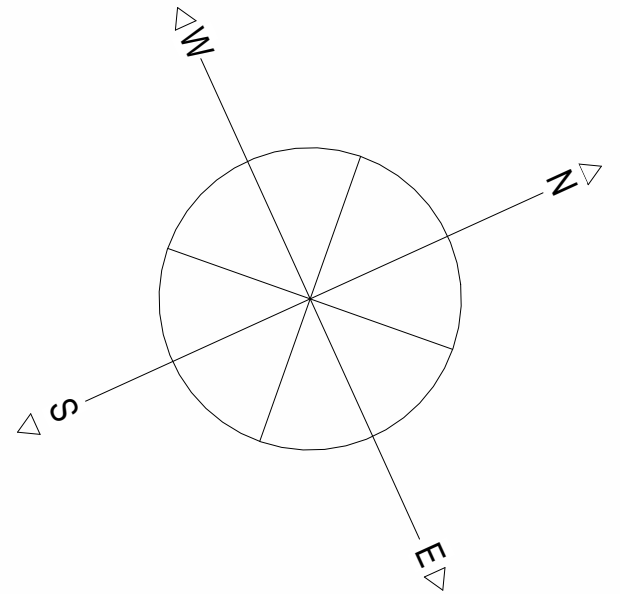
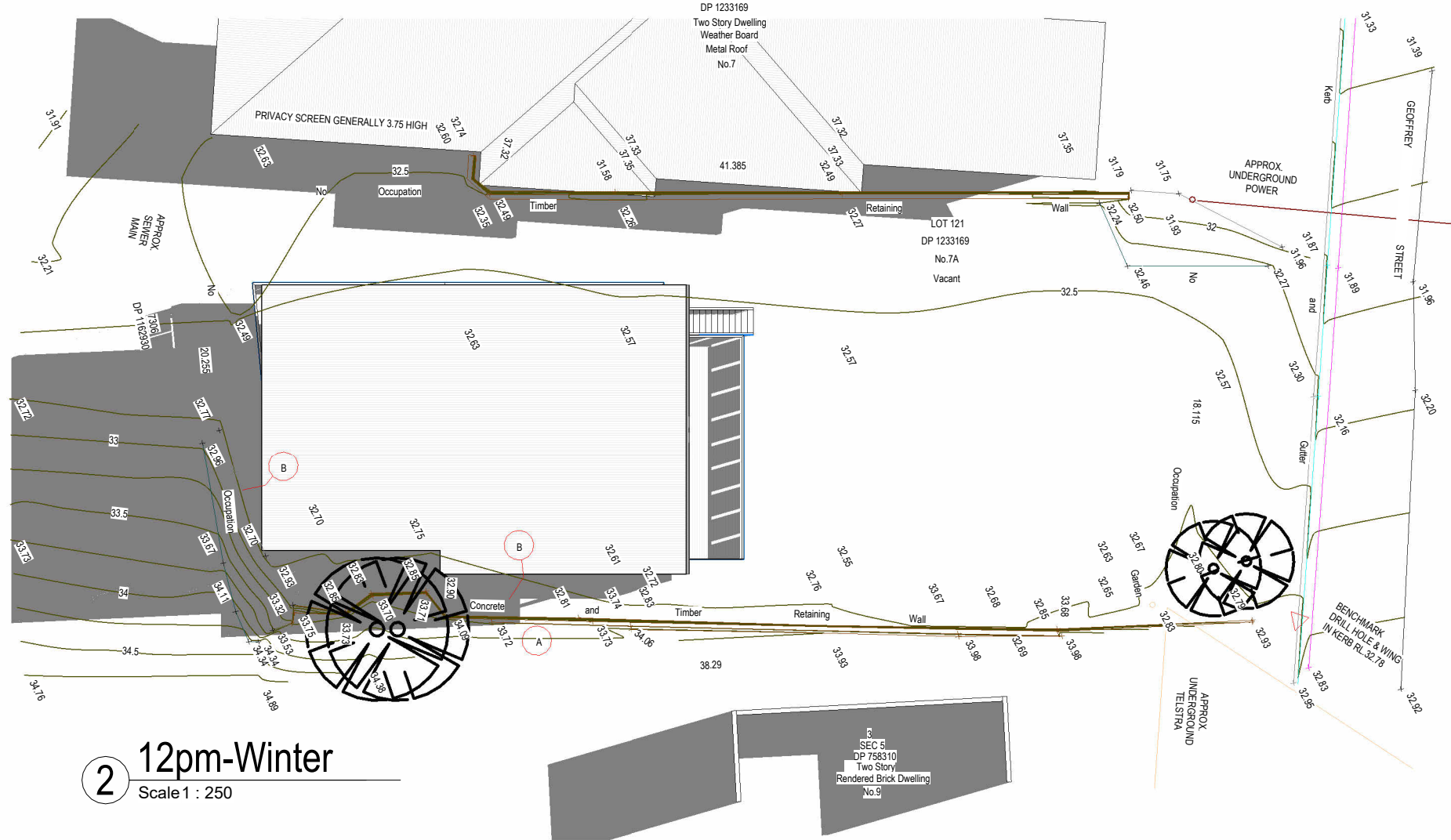
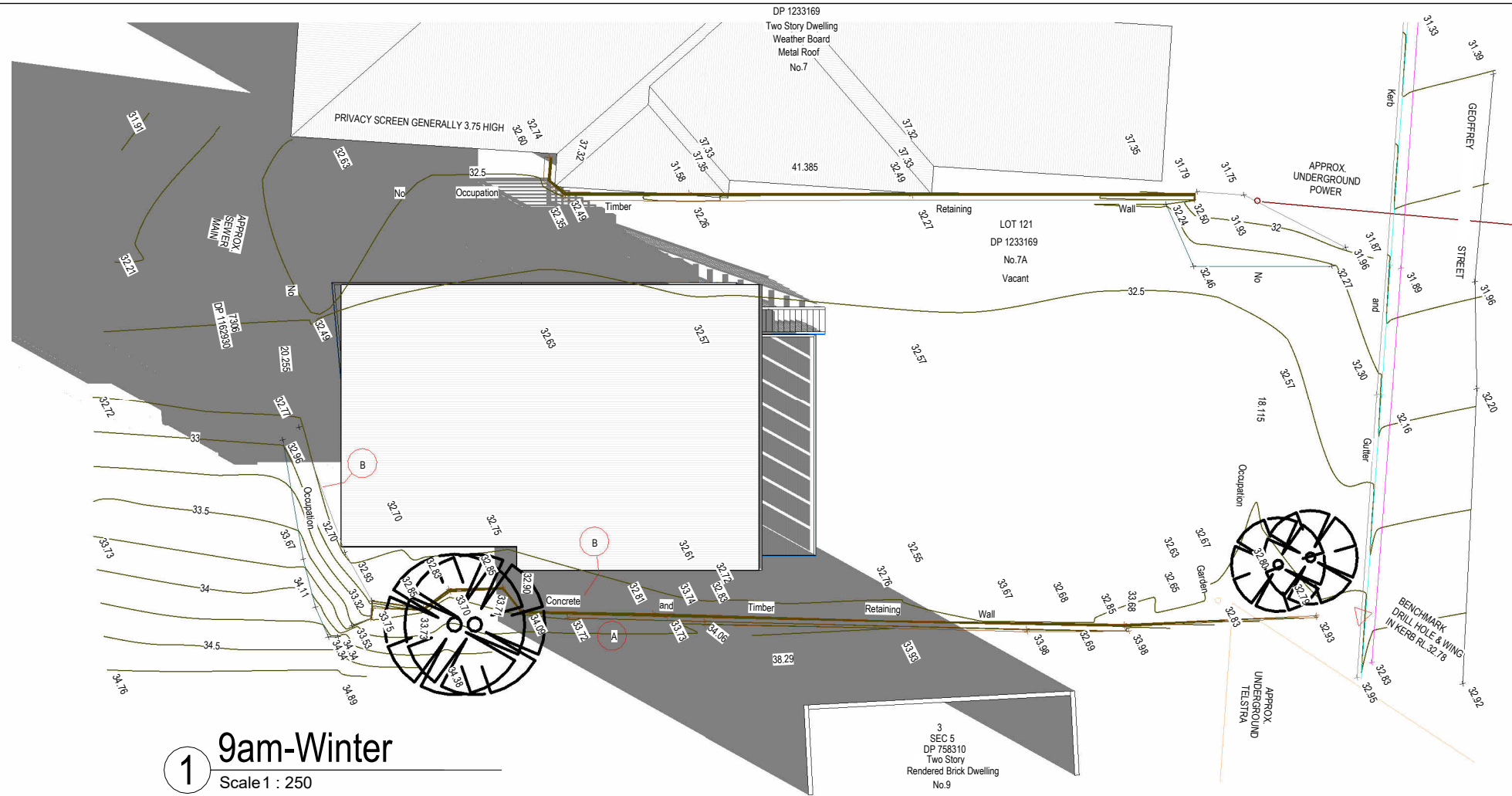
SCALE 1 : 250

DRAWN J.A.J

JOB No. DRAWING No.

039-MCD 19

A	Concept Plan	05/06/24
Rev	Amendment	Date



Mid North Coast Drafting
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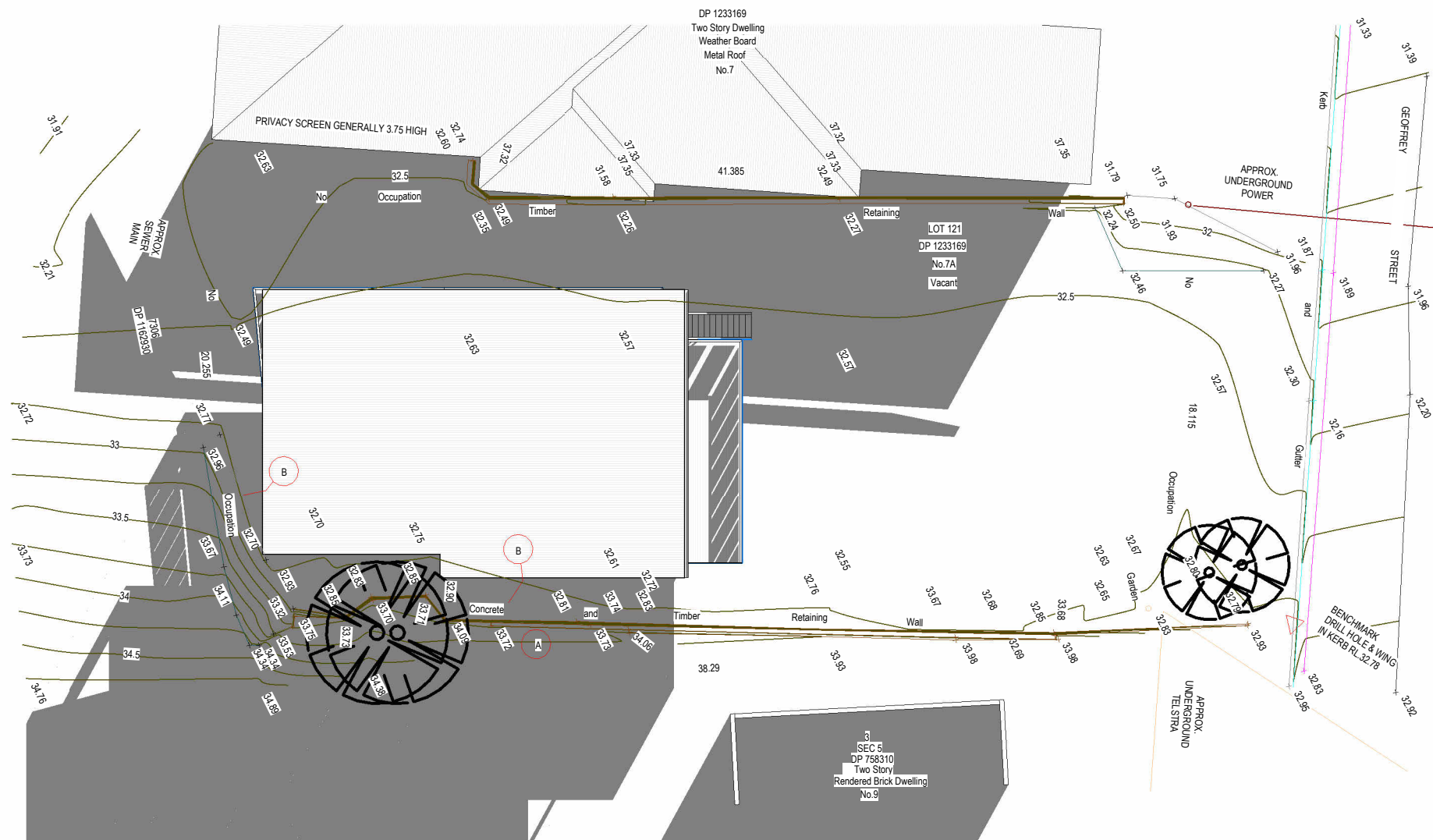
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TITLE	SHADOW DIAGRAMS
BASIX CERT. No.	1789625S
DATE	08/04/25
SCALE	1 : 250
DRAWN	J.A.J

JOB No. DRAWING No.
039-MCD 20

Rev	Amendment	Date
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1 3pm-Winter
Scale 1 : 250

<div><div><div></div><div>Mid North Coast Drafting & Construction</div></div></div>	
PROPOSED NEW RESIDENCE	
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SCALE	1 : 250
DRAWN	J.A.J
JOB No.	DRAWING No.
039-MCD	21
Rev	Amendment
Date	